



The Connolly Quarter

SHD Submission – Architects Design Statement

18135-RKD-00-XX-RP-A-3000

RKD ARROW ballymore. *Oxley*

Introduction

This Strategic Housing Development (SHD) application forms part of a larger masterplan area. The masterplan area identifies lands for future office and hotel development.

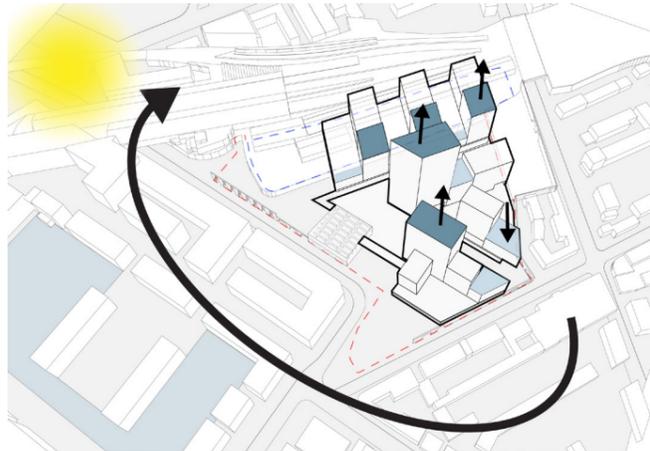
This design statement outlines the elements which are within the “SHD” application. Please refer to the separate “Masterplan Design Statement” which describes the scheme in its totality.

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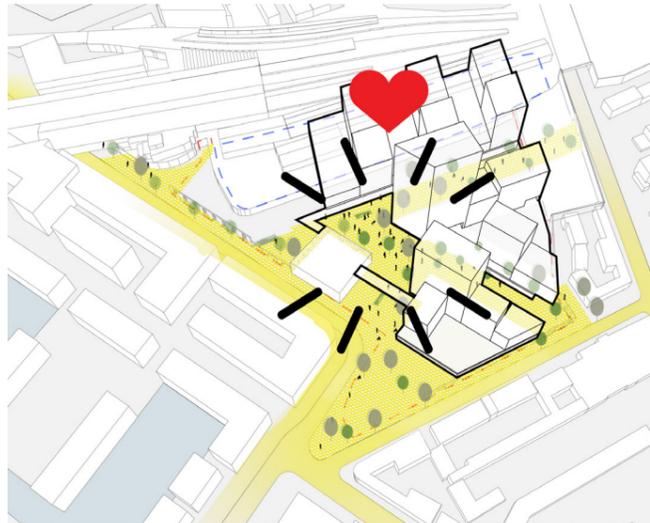
01 SHD Proposal

SHD Proposal

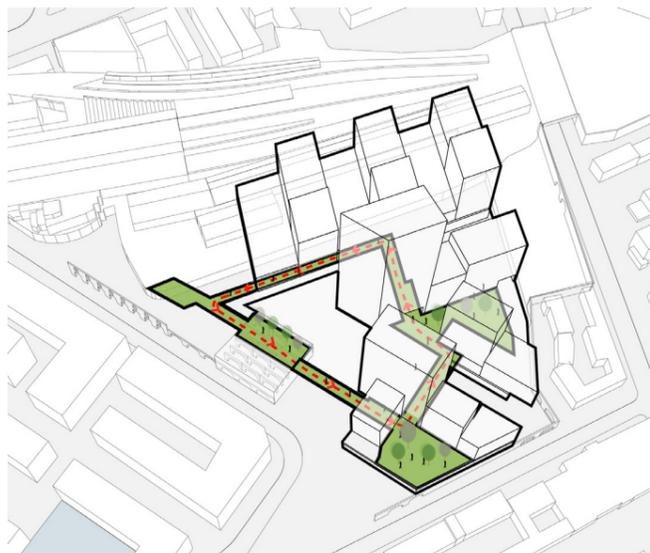
Executive Summary



SHD Density



SHD Public Space



SHD Highline

SHD - Urban Proposal ('Stand Alone')

- The design statement should be read in conjunction with the masterplan prepared for the entire Connolly Quarter which accompanies this SHD application. The Masterplan document outlines the guiding design and urban principles which have informed the strategies and design proposals contained within the SHD proposal.
- The SHD proposal describes a 'stand alone' residential proposal with a quantum of ground floor non residential accommodation (not exceeding the maximum permissible area as outlined in the SHD guidelines) The SHD represents a component of the overall masterplan.
- The SHD proposal provides a mix of dynamic and contemporary residential buildings in an integrated overall site masterplan. It captures the unique industrial site character (as referenced in the Masterplan proposal) to create a unique urban response on these prominent lands.
- The SHD proposal includes all of the public open space identified in the Masterplan document. This strategy ensures full connectivity of space and people to the adjoining street network.
- Residential blocks are arranged to create new streets and squares whilst offering street connections to Sheriff St Lower, Seville Place and Oriel St. Blocks of varying heights are orientated to create generously proportioned public space at ground level with resident's communal and amenity space above. The open street arrangement is lined by new uses including community, retail and café. The streetscape offers a new destination for visitors, commuters and residents alike.
- The Highline, an elevated communal open space, connects everything. It is a unique and interactive landscape which connects each of the residential blocks at first floor level via a series of bridges and communal garden spaces. (Refer to Section 2, p.14 and Section 3, p.30 for more information).
- The SHD subject site boundary encloses the Luggage Store and Workshop buildings (both protected structures) which are located on Sheriff St Lower. Detailed works and change of use to these Protected Structures will form part of a separate application to be submitted for the proposed office and hotel blocks. The inclusion of these buildings within the SHD is considered appropriate given they shall be exposed in the process of ground excavations and that a 'temporary' extent of the Highline shall extend above them. The full extent of the elevated Highline (communal open space) is proposed within this SHD submission.
- The SHD proposal provides 741 "Build to Rent" residential units and a maximum of 68,535 m² of GIA which includes:

Block B – Residential

- A 31,8575 m² (GIA) residential block offering 329 residential units (mixture of studio, 1 bed, 2 bed and 3 bed unit types) Block B extends up to 15 floors above the proposed Connolly Quarter street level and comprises x3 residential 'finger blocks'.
- Private open space is integrated at podium and rooftop levels. Generously proportioned podium gardens offer good active and visual amenity whilst the rooftop garden terraces offer panoramic views over Connolly Station and the city beyond.
- Block B extends over the existing Connolly Station sidings and is supported by a steel truss support arrangement. This support deck creates the opportunity to accommodate 135 of the 180 CIE car parking spaces within the structural depth with this deck being accessed via ramps from Oriel Street Upper.
- The Block B residential accommodation is located above the elevated Highline level and in turn above street level active frontage (café, retail, leisure, residential entrances etc)
- 624 m² (GIA) of community use accommodation is proposed at street level with direct public access from proposed street.

Block C – Residential

- A 24,369 m² (GIA) residential block offering 295 residential units (mixture of studio, 1 bed, 2 bed and 3 bed unit types) Block C is comprised of 3 distinct blocks forming a cluster of blocks ranging in height from 5 to 23 floors above the Connolly Quarter street level and with blocks stepping down in height to the site boundary.
- The Block C1 tower is located centrally to the overall masterplan and forms a visual focus with frontage onto Connolly Square.

Block D1/D2 – Residential

- A 12,225 m² (GIA) residential block offering 117 residential units (mixture of studio, 1 bed and 2 bed unit types)
- Block D reaches a height of 14 floors above Connolly Quarter street level with blocks stepping down in height towards the Oriel St Lower site boundary

Basement Level

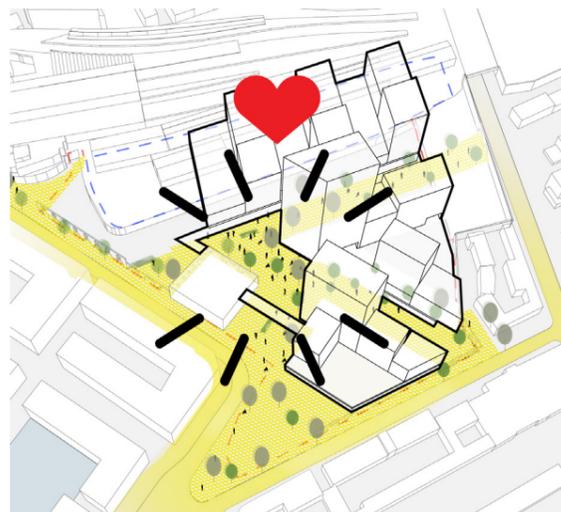
- A 7,271 m² (GIA) single level basement is proposed to support each of the proposed blocks above ground. The basement has been minimised in terms of footprint and accommodates 58 car parking spaces, residential plant and waste storage amenities.

SHD Proposal

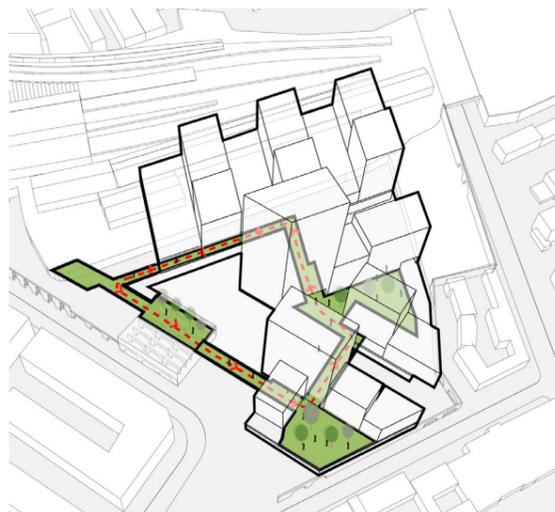
Site Masterplan

The arrangement of the blocks forming this planning application has been carefully considered and is described in detail in the accompanying Masterplan document.

The residential blocks have been positioned to the rear of the site to ensure that they enjoy the best level of amenity yet fully connect to the new urban commercial spaces towards the front of the site.



SHD Public Space



SHD Highline



Roof Plan

SHD Proposal

Use Mix Block Plan

Zoning

The SHD proposal responds to the Z5 Zoning as described in the Dublin City Development Plan (2016-22) – ‘to consolidate and facilitate the development of the central area, and to identify, reinforce, strengthen and protect its civic design character and dignity’. It further states that the Z5 zoning aims to ‘sustain life within the centre of the city through intensive mixed use development’, and to ‘provide a dynamic mix of uses which interact with each other, help create a sense of community and which sustain the vitality of the inner city both by day and night’

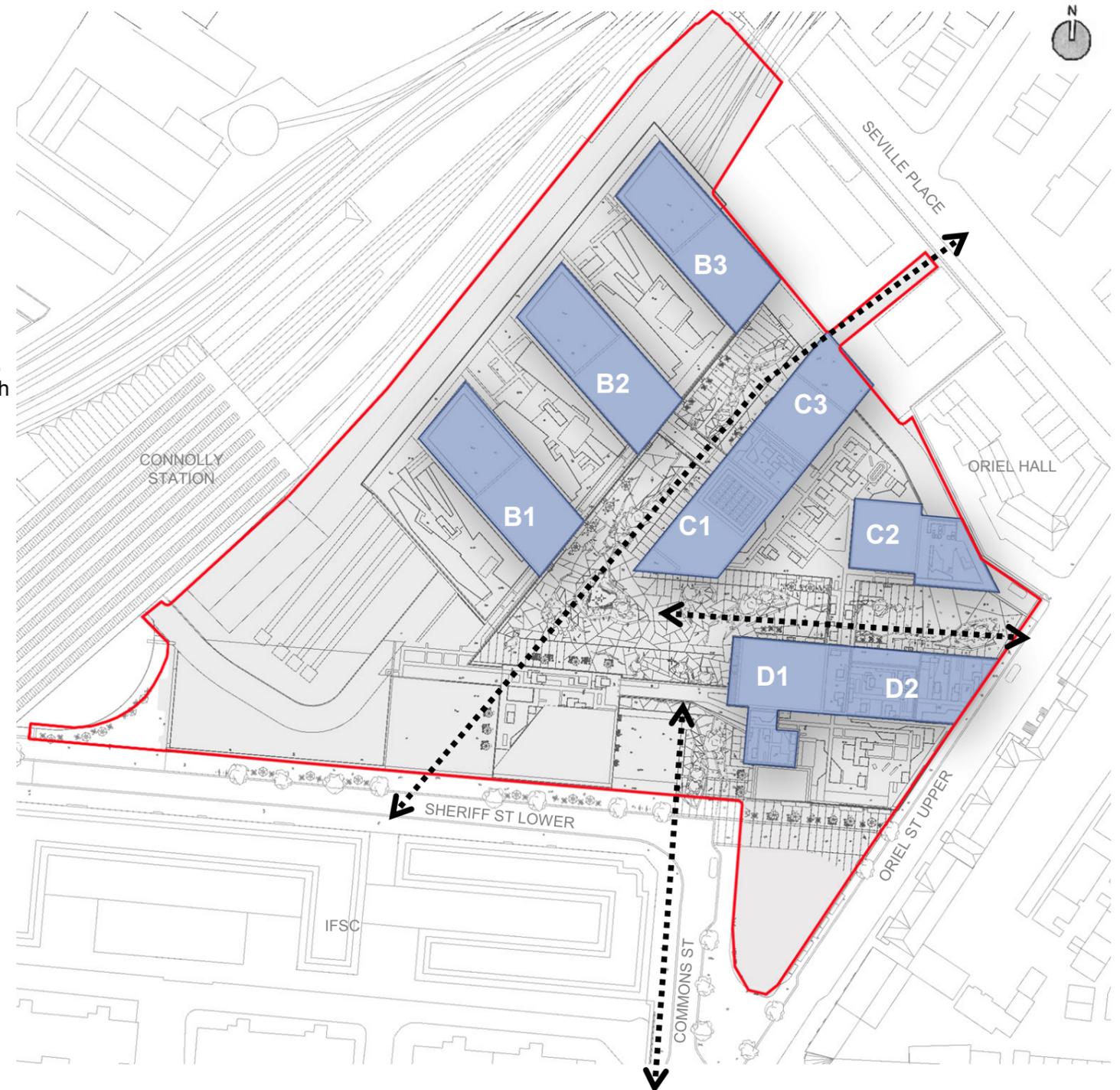
Residential – Upper Level

- The SHD proposal provides a mix of residential units types including studio, 1 bed, 2 bed and 3 bed apartments. All residential accommodation is located above street level in order to ensure activation of the public realm with an appropriate mix of non residential uses.

Non-Residential – Street Level

- Each block offers a quantum of street level commercial use which supports both the residential uses above, and the needs of visitors to the development. Local community uses are to be located at street level beneath Block B3 and create a new destination within the scheme.

BLOCK	PRIMARY USE	FLOOR	USE
B (B1,B2,B3)	Residential	Ground First Typical	Retail / Community / Cycles / Residential Entrance Highline communal Space / Residential Amenity Residential & private open space
C (C1,C2,C3)	Residential	Ground First Typical	Retail / Cycles / Scheme Reception Facilities / Residential Entrance Highline communal Space / Residential Amenity Residential & private open space
D (D1,D2)	Residential	Ground First Typical	Retail / Cycles / Residential Entrance Highline communal Space / Residential Amenity Residential & private open space



Use Mix Plan)

SHD Proposal

Aerial View 01

The SHD comprises 8 residential blocks ranging in height from 4 to 23 floors above street level. The blocks are arranged to create new streets and squares whilst offering new street connections to Sheriff St Lower, Oriel St. and Seville Place. The blocks are orientated to create generously proportioned public, communal and private open spaces with optimized daylight/sunlight penetration.



FOR INFORMATION ONLY

Aerial view of the Connolly Quarter Masterplan. Refer to separate Masterplan Design Statement for details.

SHD Proposal

Aerial View 02

Given the prime site location adjacent to Connolly Station, it is proposed that the site is ideally suited to deliver increased height. It is proposed that increased height delivers the following key advantages for the site and the city:

- Optimised utilization of this brown field site.
- Optimised residential units/densities on this key city centre site.
- Creates sustainable residential footfall to/from Connolly Station and existing local amenities.
- Creates urban residential densities which shall support a range of new street level commercial amenities.
- Create a strategic new landmark on the Dublin skyline.



FOR INFORMATION ONLY

Aerial view of the Connolly Quarter Masterplan. Refer to separate Masterplan Design Statement for details.



SHD Proposal

Aerial View 03

A sequence of varied façade and material types which has inspired a rich, varied and 'unfolding architectural story'. Whilst there is an inherent legibility of approach between each building, the assembly of materials differs from building to building to create a subtle richness to the approach. Facades of each building have been considered in detail to deliver an overall visual variety but with detailed façade modules designed with detail, colour and textural variety.



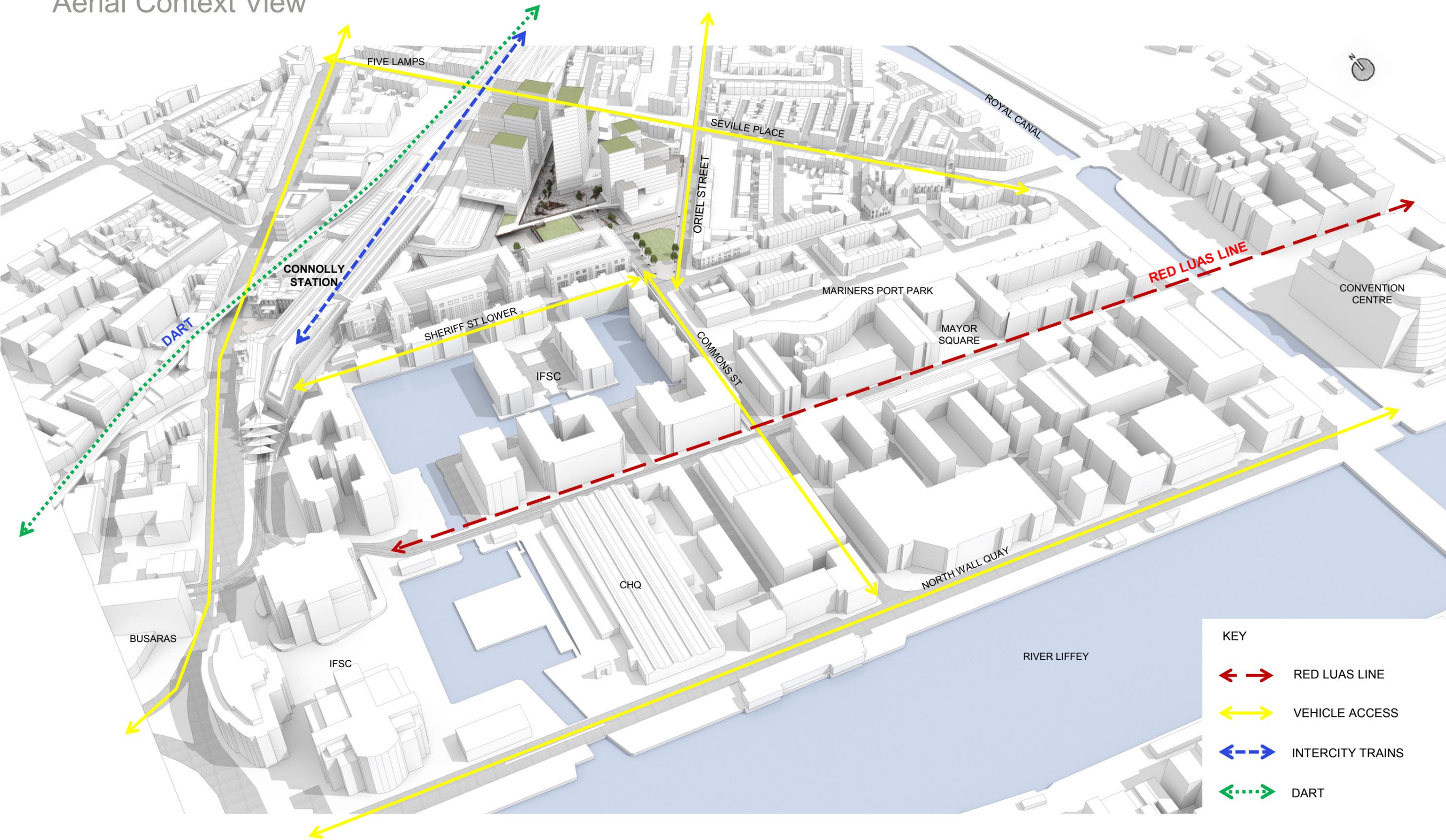
FOR INFORMATION ONLY

Aerial view of the Connolly Quarter Masterplan. Refer to separate Masterplan Design Statement for details.

02 SHD Connectivity

SHD Site Connectivity

Aerial Context View



KEY	
	RED LUAS LINE
	VEHICLE ACCESS
	INTERCITY TRAINS
	DART

SHD Connectivity

Ground Floor

The Connolly Quarter opens the site, with key connections proposed through the site at ground level.

Sheriff Street Lower (1)

- Pedestrian and cyclist connectivity through existing protected wall structures into Connolly Square

Oriel Street Upper (2)

- Pedestrian and cyclist connectivity through existing protected wall structures into Connolly Square

Commons Street (3)

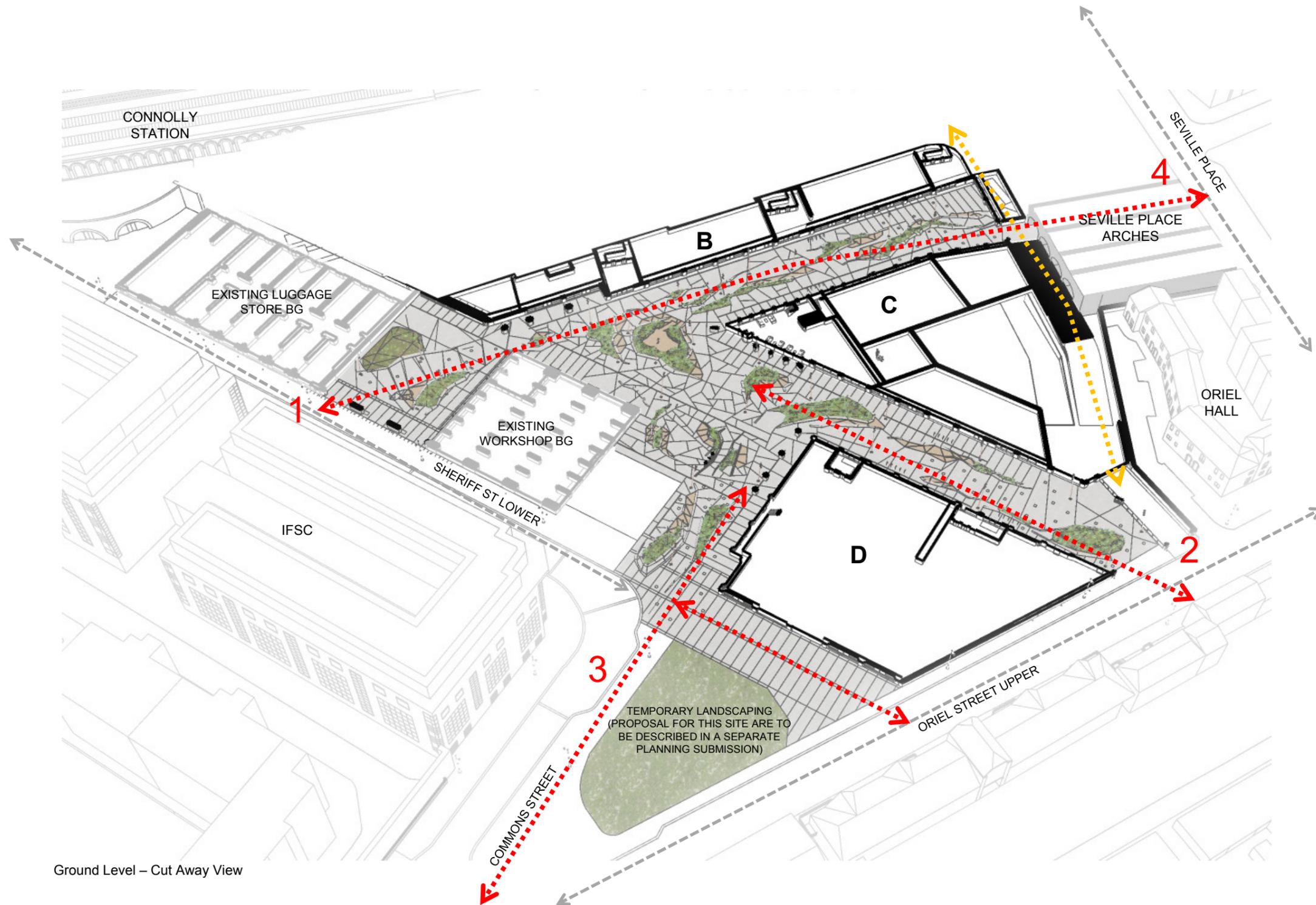
- The scheme's central public space, Connolly Square, opens up onto Commons Street to the south

Seville Place (4)

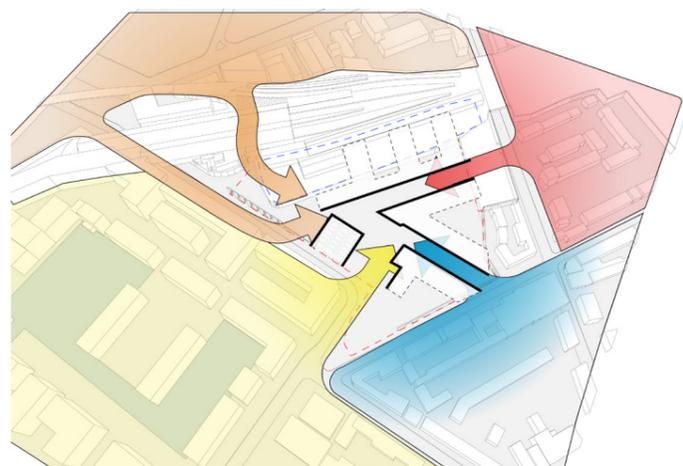
- Pedestrian and cyclist connection through an existing railway vault linking Seville Place to the new street, flanked by Blocks B and C.

Note:

- Detailed works to the existing Luggage Store and Workshop buildings (protected structures) shall form part of a separate planning application.



Ground Level – Cut Away View



SHD Connectivity

Seville Place Connection



View from Seville Place.



View towards Seville Place.

Pedestrian permeability from the north of the site is achieved by incorporating one of the existing Seville Place vaults. The existing vault shall be refurbished to create a new connection from Connolly Square. The proposed concrete paving to the new ground streetscape shall be extended through the vault in order to create a seamless connection.

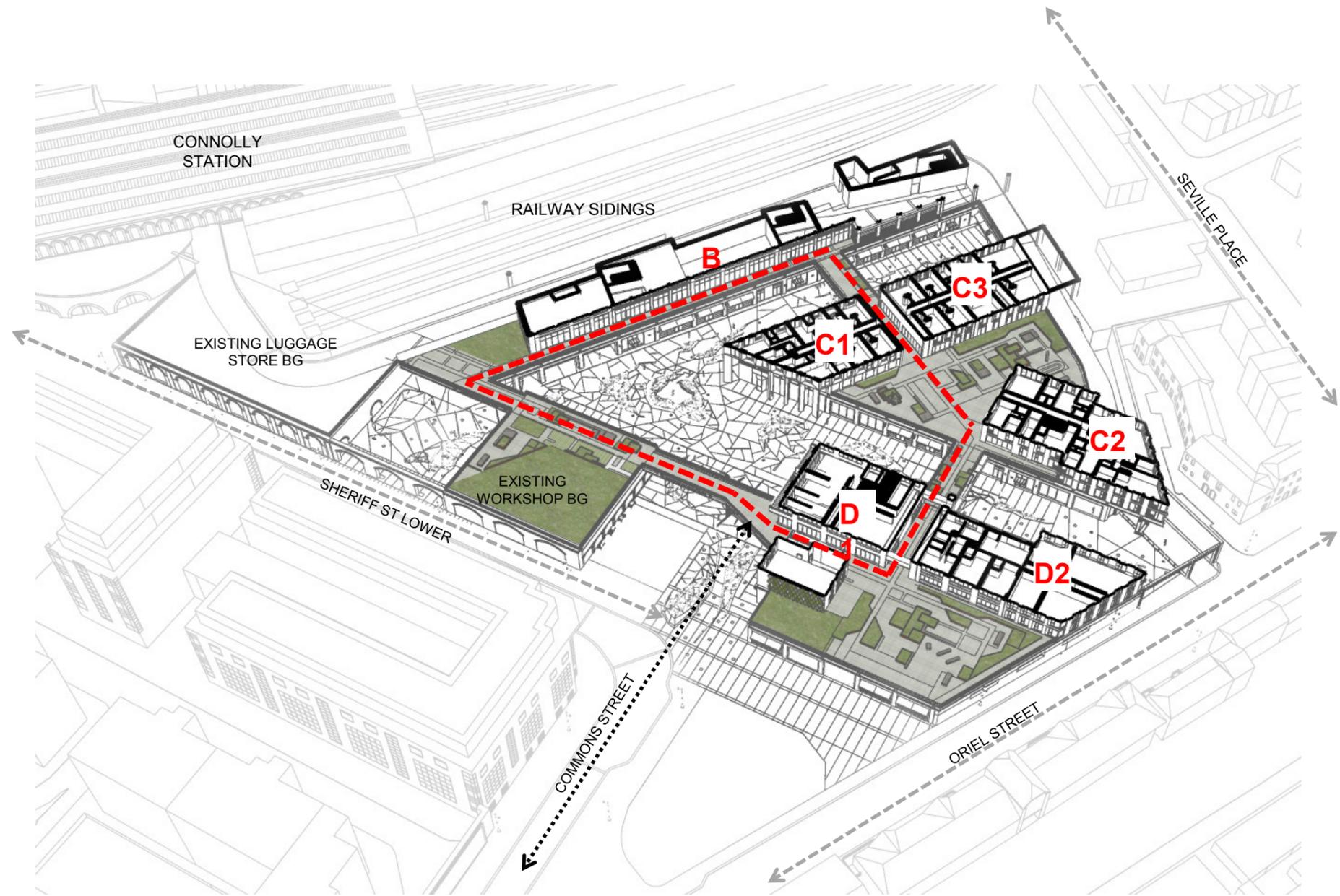
The local GAA club, currently housed in the vault, will be accommodated in new purpose-built accommodation within the scheme in order to make the new connection to Seville Place.

SHD Connectivity

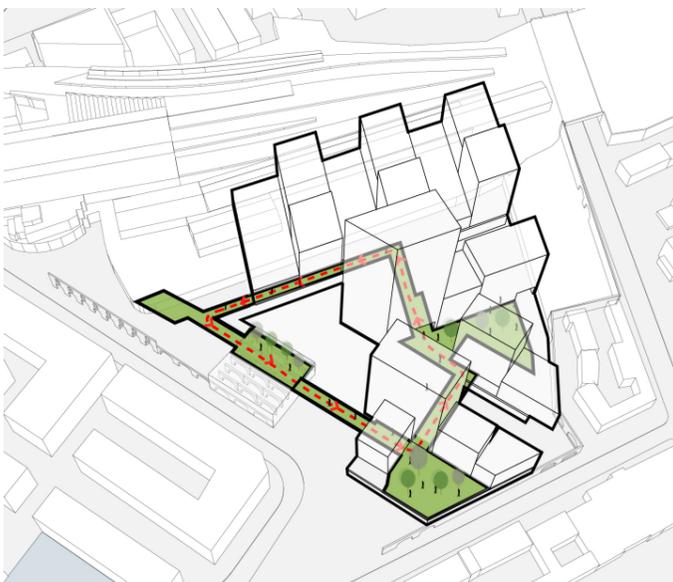
The Highline (First Floor)

The Connolly Highline is a unique and interactive communal amenity space which provides the following:

- Pedestrian connectivity between Blocks B,C and D1 at an upper semi private level.
- Secure and semi private access for occupants of Blocks B,C and D1. Public access from street level is not accommodated
- Access to a range of interior and exterior residential amenity spaces.



Highline Level – Cut Away View



03 SHD – Landscape & Open Space

Landscape & Open Space

Landscape Concepts

Refer to separate report by BSLArch Landscape Consultants

The following areas of focus have been incorporated into the SHD scheme:

Reclaim the Forgotten

- The original shoreline identity informs the landscape form and materiality to create a unique open space character.

Reinforce the Past & Existing through Insertion

- The unique industrial site character is referenced and preserved within the detailed landscape proposals.

Modern Integration of Nature

- A unique landscape environment which creates a fusion of historic and modern landscape references.

Multi Layered Open Space

- A Multi Layered open space and amenity experience which provides public, communal and private open space solutions vertically through the scheme.

A New Urban Square

- Connolly Square to be located at the heart of the urban plan and to become a focal point for new commercial, retail and residential life.

The Highline

- A unique and shared open space concept which connects the Connolly Community via a range of indoor and outdoor residential amenity spaces. These spaces shall be zoned to offer a range of leisure and relaxation uses.

Pedestrian Priority Urban Quarter

- The ground floor public realm offers a series of streets and squares which are pedestrian priority. Vehicles are segregated from the public realm and with limited access only.

Animated Public Realm

- Generously proportioned spaces which allow for a range of public and private uses. The ground level public realm to be contained by animated urban edges (retail, café, community uses)

Spatial Quality (Daylight/Sunlight)

- The height and orientation of individual residential blocks creates a series of open spaces which benefit from changing daylight/sunlight levels during the course of the day. The multi layered approach enables residents to take full benefit of this approach.



Landscape Layers

Public Open Space

Refer to separate report by BSLArch Landscape Consultants

The SHD proposal creates a unique and interactive public realm which connects each of the blocks at street level. The Connolly Quarter streetscape offers a new open space dynamic to the city, and shall deliver the following in terms of landscape opportunities:

New Connections

- The extensive public realm experience is connected to existing roads bounding the site to promote full site connectivity and optimize footfall within the site. The protected structures on Sheriff St and Oriel St form an entrance portal into the site with new and existing wall openings offering access and active frontage.

A New Urban Square

- Connolly Square to be located at the heart of the urban plan and to become a focal point for new commercial, retail and residential life.

Animated Streets

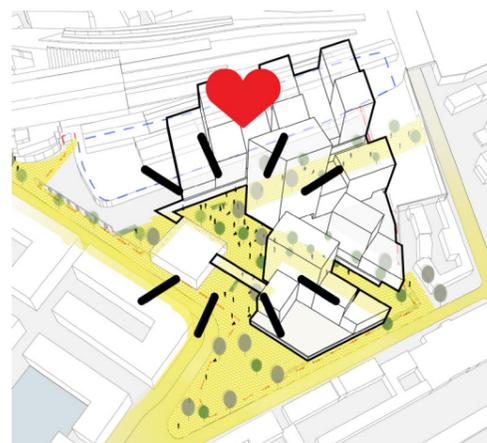
- The ground level streetscape becomes a unique and dynamic characteristic of the scheme and represents a destination for future residents and visitors alike. New streets provide extensive active frontage and access to all residential block entrances.

A Unique Character & Materiality

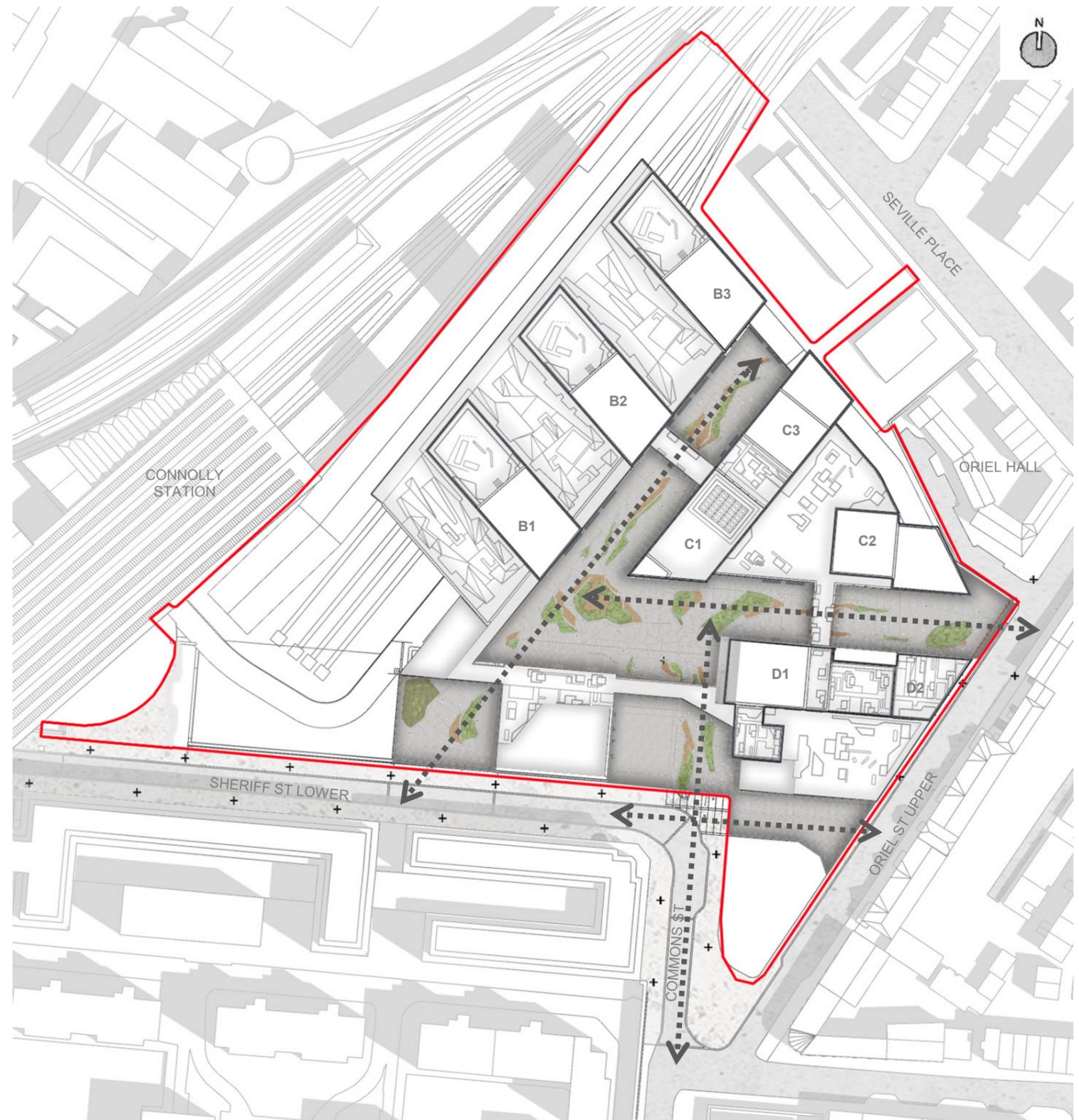
- The site vision describes the ambition to *Reinforce the Past & Existing* site characteristics, and to capture these site unique references within a new placemaking urban strategy. Hard and soft landscape features are proposed which capture references to the original shoreline and industrial character which being framed within a modern architectural aesthetic.

Flexible

- The public realm is designed to be fully accessible in terms of public emergency vehicle access. The landscape strategy does not dictate spatial uses, but moreover creates opportunities for uses to evolve over time.



Design Reference



Landscape Plan

Public Open Space

Site Entrance from Sheriff Street

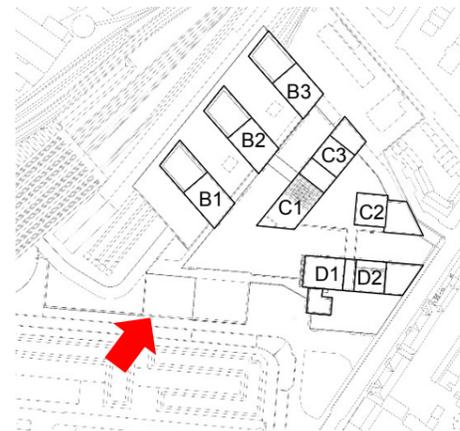
Refer to separate report by BSLArch Landscape Consultants

Luggage Store & Workshop Buildings (protected buildings)

- Whilst the Luggage Store and Workshop (protected structures) form part of the SHD subject site application boundary no works are proposed as part of this application other than works to ensure that these protected structures are adequately safeguarded during construction. All works to these structures, including their future use (see masterplan), will be the subject of a separate planning application for the development office and hotel developments and will be submitted to Dublin city Council under a section 34 planning application.

Entrance from Sheriff St

- New openings through the exposed Sheriff St arches. Visitors arrive into an entrance plaza (located between the Luggage Store and Workshop) which in turn leads to Connolly Square. The new hard landscaping within Connolly Square shall extend to the pavement at Sheriff St Lower.



Key Plan



Design Reference



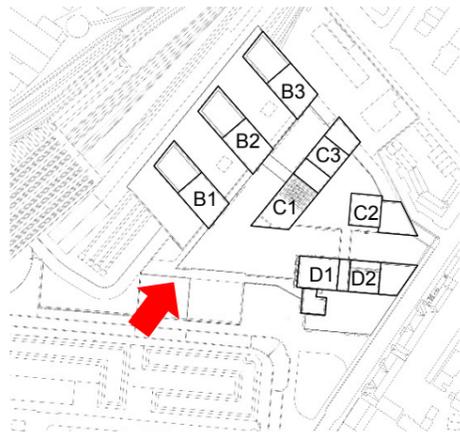
Note: To the south façade of Block D1 is in anticipation of the delivery of the Block D3 Hotel (separate planning submission)

Public Open Space

Site Entrance from Sheriff Street

Refer to separate report by BSLArch Landscape Consultants

- Site boundaries are dissolved with new openings through the exposed Sheriff St arches. Visitors arrive into an entrance plaza (located between the protected structures) This 'formal' arrival spaces provides future frontage to the protected structures and is an orientation space for access into Connolly Square. The scale and location of this space creates a setting for a new piece of public art which would be visible from street level and from the Highline above.
- New concrete street paving is arranged as a directional device and leads the eye towards Connolly Square and the future entrance to Connolly Station. This Highline amenity space located above the protected buildings provides animation and passive observation of the entrance space and is a viewpoint for the layers of buildings beyond.



Key Plan



Design Reference



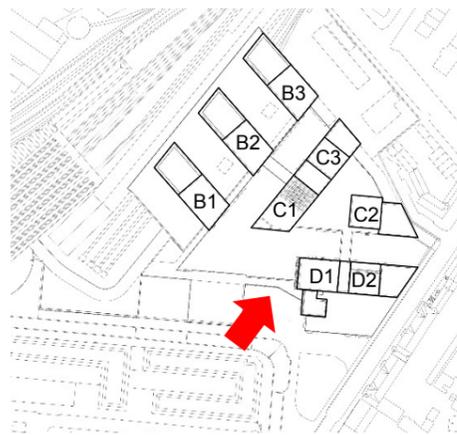
Note: The green wall treatment to the south façade of Block B1 is in anticipation of the delivery of the Block A office building (separate planning submission)

Public Open Space

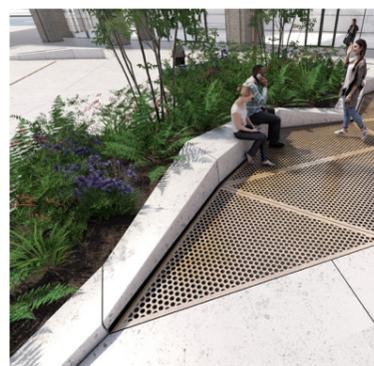
Site Entrance from Commons Street

Refer to separate report by BSLArch Landscape Consultants

- This site entrance is at the terminus of the north-south Commons St axis which link the I.F.S.C. and the Northern Quays to the site. The Block C1 tower is located at the end of this visual axis and the Commons St entrance being the spatial setting.
- The existing entrance to the surface car park is at this location on Sheriff St and as such, this entrance evokes a memory of the past use.
- New concrete street paving is arranged as a directional device and leads the eye towards Connolly Square and the future entrance to Connolly Station. This Highline amenity space located above the protected buildings provides animation and passive observation of the entrance space and is a viewpoint for the layers of buildings beyond.



Key Plan



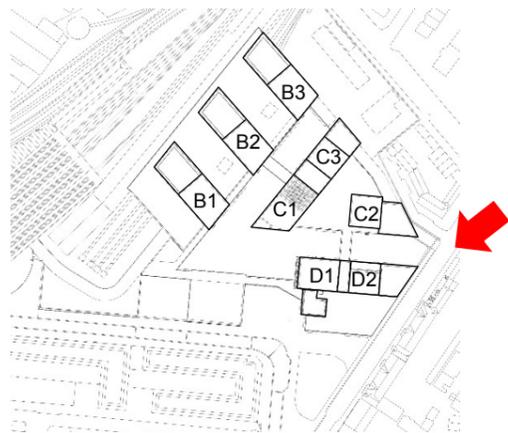
Design Reference

Public Open Space

Site Entrance from Oriel Street

Refer to separate report by BSLArch Landscape Consultants

- A new opening is created within the Oriel St wall to offer full connectivity to/from the site. The unique industrial site character is referenced and preserved within the architectural form and materiality of the steel 'portal' and this demarks the separate pedestrian and vehicle access points from Oriel St. The steel entrance portal is at the same level as the Highline beam and therefore reinforces the horizontal layer within the site.
- The new street entrance allows for emergency vehicle access but is essentially a 'gateway' into a pedestrian priority environment. The 'modern nature' landscaping extends in an organic form to the site boundary and creates accidental relationships with the streetscape.



Key Plan



Design Reference

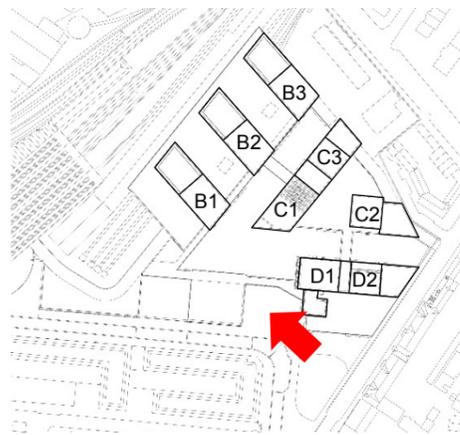


Public Open Space

Site Entrance from Commons Street

Refer to separate report by BSLArch Landscape Consultants

- The Highline amenity space located above the protected Workshop building provides animation and visual surveillance of the entrance space beneath and frames the new entrance space.
- There is no proposed works to the interiors of the existing Workshop building (this shall form part of a separate planning submission) Exposed walls shall be made good and the temporary Highline route shall align overhead in order to deliver the entirety of the Highline within the SHD submission.
- Architectural finishes in the central public space known as Connolly Square will be selected from a lighter colour palette to deliberately contrast and highlight the architectural importance of the urban space. Effectively the masterplan will create “a White World Within”. The central square evokes a contemporary aesthetic that compliments the references to textured masonry and industrial heritage towards the site boundary. (Refer to Masterplan Design Statement p.54).
- White brick and metal facades of Blocks B1 and C1 celebrate the concept of ‘White World Within’ and form a volumetric enclosure/backdrop to Connolly Square.



Key Plan



FOR INFORMATION ONLY

Future inclusion of Block D3 as described in the Masterplan Design Statement

Public Open Space

Site Entrance from Seville Place

Refer to separate report by BSLArch Landscape Consultants



View from Seville Place.



View towards Seville Place.

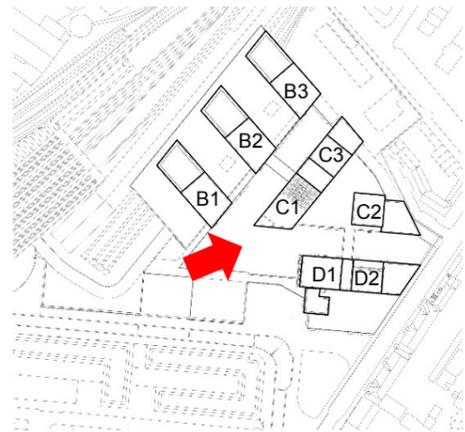
Pedestrian permeability from the north of the site is achieved by incorporating one of the existing Seville Place vaults. The existing vault shall be refurbished to create a new connection from Connolly Square. The proposed concrete paving to the new ground streetscape shall be extended through the vault in order to create a seamless connection, whilst the internal stone vault walls shall be refurbished to retain the existing industrial character.

Public Open Space

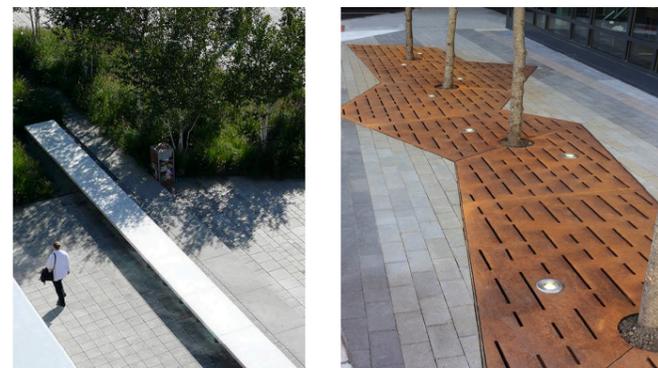
View 01 from Connolly Square

Refer to separate report by BSLArch Landscape Consultants

Connolly Square is the new urban square that forms the heart of the scheme. It connects the new desire paths running through the space which is activated throughout the day and night by a variety of animated uses. The residents' Highline looks onto Connolly Square providing passive observation and further activation. The space has been designed to maximise sunlight penetration throughout the day ensuring it remains a desirable place to experience.



Key Plan



Design Reference



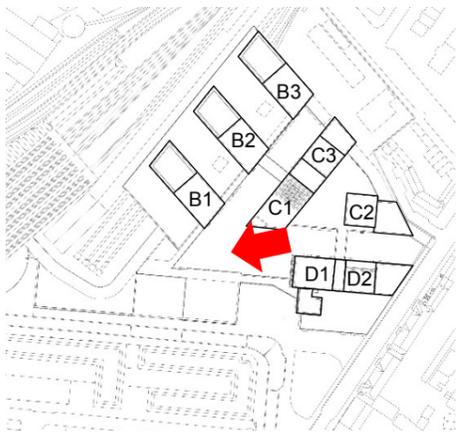
Public Open Space

View 02 from Connolly Square

Refer to separate report by BSLArch Landscape Consultants

Connolly Square

- Connolly Square is located at the heart of the proposed development and becomes the destination, meeting point and focal point for new commercial, retail and residential occupants. It creates a setting for new and protected building forms and its proportions allow for urban densification (varying building heights) around it. The square is not conceived as a defined and separate space, but moreover a larger scale setting for the 'woven rug' of materials and forms. Larger form 'islands' are multifunctional within Connolly Square and act as meeting points, play areas and points of orientation within the new streetscape.
- The colour of the metal 'Highline Beam' is also picked up in the materiality of the island drainage panels (perforated metal) This cross referencing captures the industrial past within the public realm and creates a unique landscape storyline.



Key Plan



FOR INFORMATION ONLY

Future inclusion of Block D3 as described in the Masterplan Design Statement



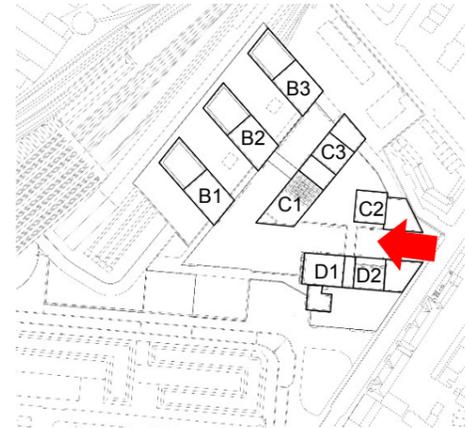
Public Open Space

New Street to Oriel Street Upper

Refer to separate report by BSLArch Landscape Consultants

Streetscape

- New streets offer full connectivity to surrounding neighbourhoods and are sightlines/movement lines towards the centrally located Connolly Square. The new streets are generously proportioned to create a setting for new active street frontage, landscaped 'island' meeting points and for emergency vehicle access.
- The Highline Bridge which connects the communal open spaces at Blocks C and D reinforces the multi layered open space concept and with visual surveillance of the public realm from the bridge.
- The eye is led from moment to moment with a visual referencing of industrial materials and organic landscape forms to create a unique and visually rich landscape experience.



Key Plan



Design Reference



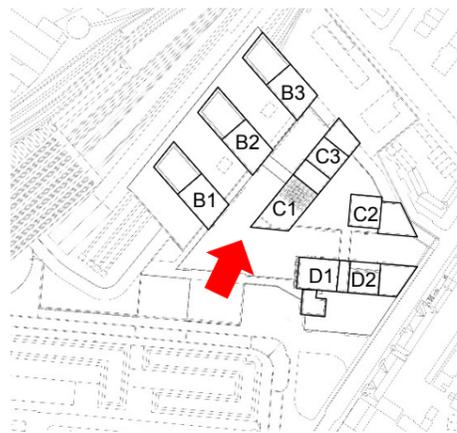
Public Open Space

New Street to Seville Place

Refer to separate report by BSLArch Landscape Consultants

Shared Public Space

- The new streets are generously proportioned to create a setting for new active street frontage, landscaped 'island' meeting points and for emergency vehicle access.
- Whilst Connolly Square is the central reference point, the eye is constantly led from moment to moment with a visual referencing of industrial materials and organic landscape forms to create a unique and visually rich landscape experience.
- The new streets create the setting for a multi layered use concept with layers of residential located over residential amenity (Highline level) and then to animated streetscape.
- The landscaped 'islands' are shaped to lead the eye away from Connolly Square and to pedestrian destinations along the adjoining streets. Taller trees are located to appear within the visual layer at Highline level and thereby make a visual and sensory connection between the public and communal space layers.



Key Plan



Design Reference



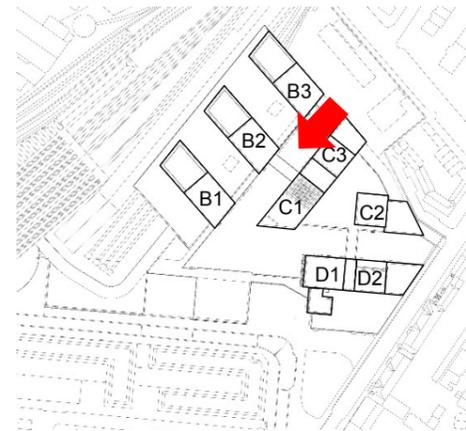
Public Open Space

New Street to Seville Place

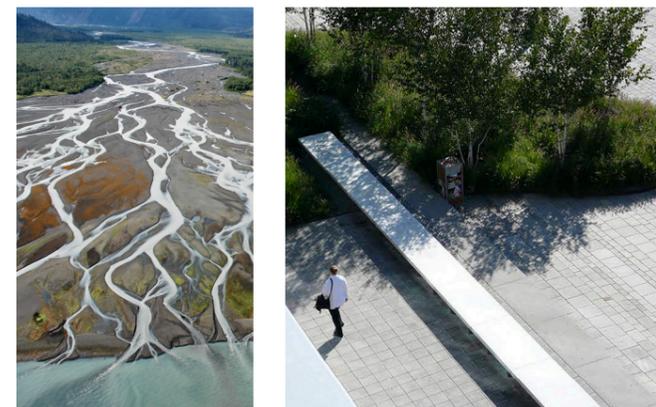
Refer to separate report by BSLArch Landscape Consultants

Streetscape

- New streets offer full connectivity to surrounding neighbourhoods and are sightlines/movement lines towards the centrally located Connolly Square. The new streets are generously proportioned to create a setting for new active street frontage, landscaped 'island' meeting points and for emergency vehicle access.
- The eye is led from moment to moment with a visual referencing of industrial materials and organic landscape forms to create a unique and visually rich landscape experience.
- The Highline Bridge which connects the communal open spaces at Blocks B and C reinforces the multi layered open space concept and with visual surveillance of the public realm from the bridge. The perforated metal panel finish to the underside of the bridge defines a public meeting spaces beneath (to offer cover during inclement weather) The new space is illuminated and becomes a visual landmark during evening hours.



Key Plan



Design Reference



Public Open Space

View from Connolly Square – Night Time

Refer to separate report by BSLArch Landscape Consultants



The Highline

Refer to separate report by BSLArch Landscape Consultants

The Highline connects everything. It is a unique and interactive communal open space which connects each of the residential blocks at first floor level and delivers the following in terms of landscape opportunities:

Reinforce the Past & Existing

- The unique industrial site character is referenced and preserved within the detailed landscape proposals. The Highline form is a geometric construct and appears as a separate layer above the organic form streetscape below. The unique industrial past is referenced through industrial forms including the Highline beam, metal truss forms and metal railings.

Multi Layered

- The Highline is a key part of the multi layered open space strategy which offers public, communal and private open space solutions vertically through the scheme. The elevated level of this communal space offers visual connectivity and surveillance of the street level open space.

Residential Community

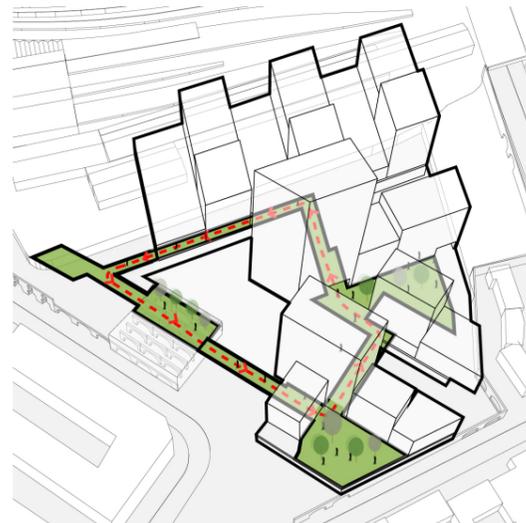
- The Highline is a dedicated communal open space realm which is shared by the entire Connolly residential community.

Open Space Quality & Variety

- The Highline spaces are sized and orientated to offer good quality sunlight penetration during the course of the day. Informal uses are included in order to respond to the changing sunlight qualities.

Destination & Activities

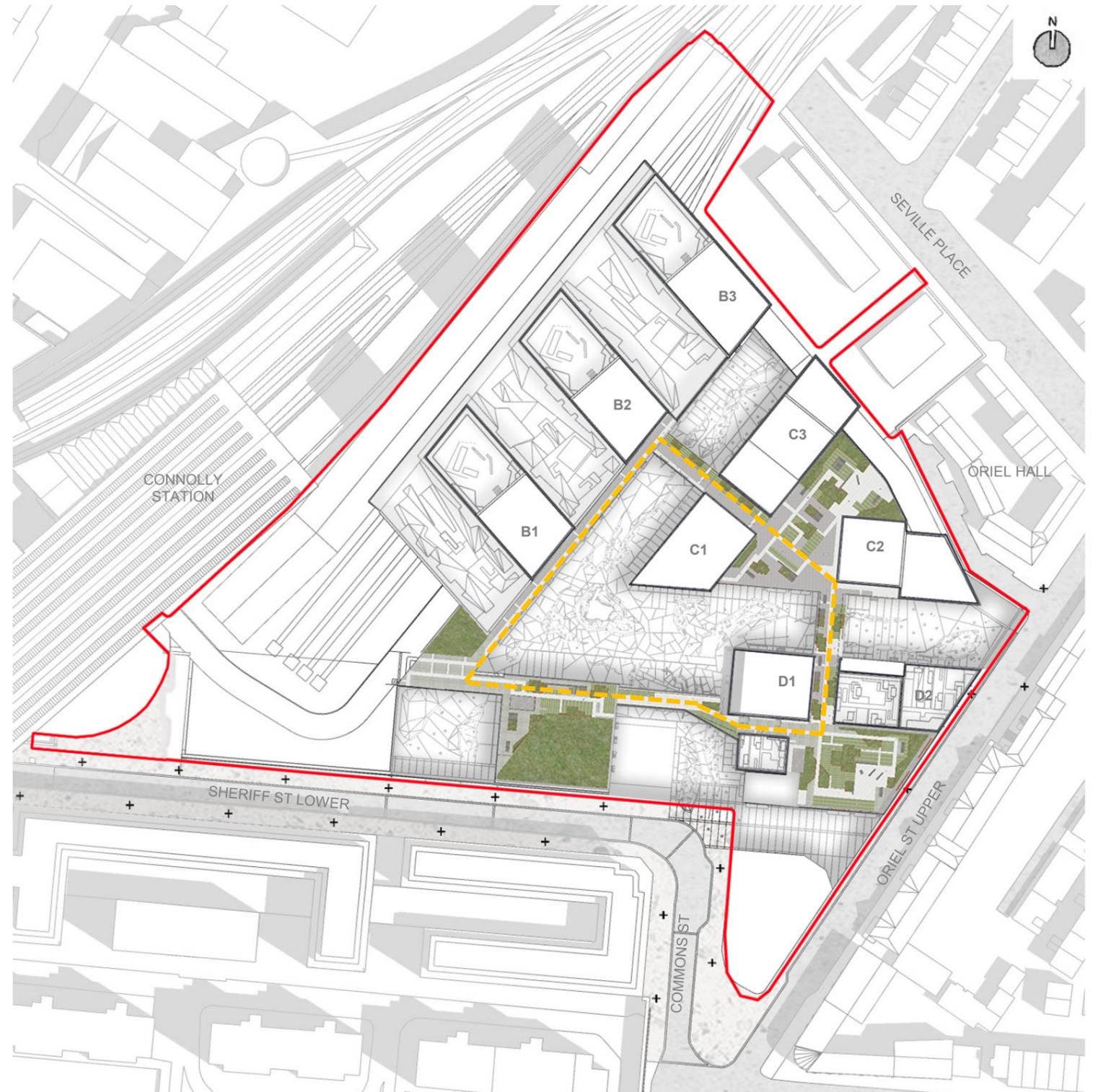
- The circa 400m long Highline offers a full outdoor activity circuit with 'touchpoints' within garden spaces offering activities including an outdoor gym, yoga zone and a trim trail.
- The Highline connects to indoor residential amenities which would include lounges, gym/fitness, games rooms, business lounges etc. The Highline becomes a unique and dynamic characteristic of the scheme and represents a destination for future residents



Highline Concept



Highline Aerial View



Highline Plan

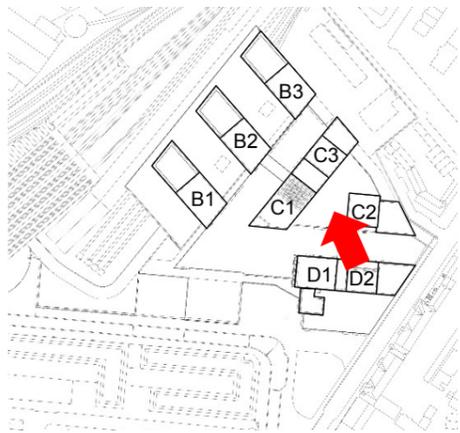
The Highline

View from the Block C Highline Bridge

Refer to separate report by BSLArch Landscape Consultants

Highline Bridge

- The bridge in this section of the Highline provides connectivity between Blocks C and D1 and offers low planting and casual seating as part of the Highline route.
- This is a consistency of design approach in terms of the Highline materiality and form to offer visual legibility within this geometric landscape environment. The industrial reference materiality is described within the planter bases, steel edge beam and metal railings. This creates a visual storyline which connects each of the buildings at this level.
- The Highline spaces are sized and orientated to offer good quality sunlight penetration during the course of the day. Informal uses are included in order to respond to the changing sunlight qualities and to offer a unique open space experience.



Key Plan



Design Reference



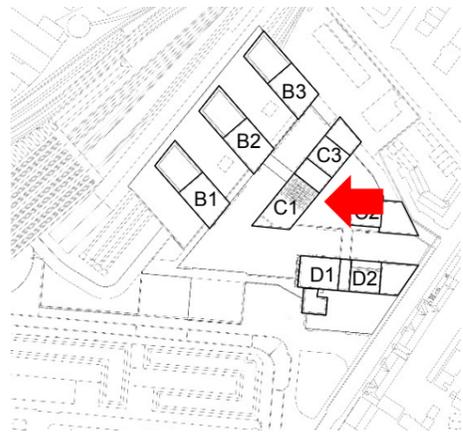
The Highline

View towards the Block C Highline Underpass

Refer to separate report by BSLArch Landscape Consultants

Highline Gardens

- The Block C gardens (communal open space) are south facing and as such would become a 'suntrap destination' for all Connolly residents. The form and proportion of the spaces allows for a variety of designated uses including and outdoor gym/leisure space and a series of seating and landscape zones (visual amenity) The Highline landscape finishes are high quality and highly durable in order to support the high activity use.
- The space is primarily bounded by residential amenity and as such this floor level can be regarded as an internal/external shared residential amenity.
- The landscaping is configured to lead people towards the Block C1 'underpass'. This brightly coloured aperture shall be lit at evening time and shall offer a covered external space for residents who wish to avail of the residential amenity spaces within Block B.



Key Plan



Design Reference



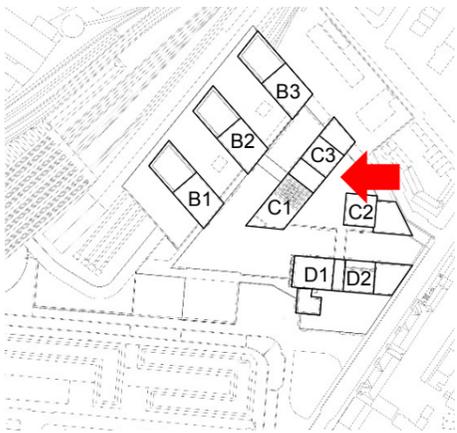
The Highline

View of the Block C Highline Gardens

Refer to separate report by BSLArch Landscape Consultants

Highline Gardens

- The space is primarily bounded by residential amenity and as such this floor level can be regarded as an internal/external shared residential amenity.
- The landscaping is configured to lead people towards the Block C1 'underpass'. This brightly coloured aperture shall be lit at evening time and shall offer a covered external space for residents who wish to avail of the residential amenity spaces within Block B.



Key Plan



Design Reference



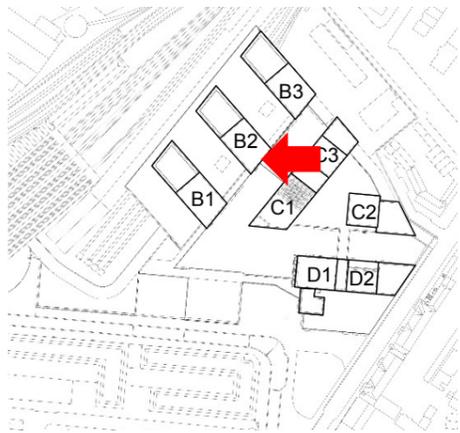
The Highline

Block B from the Highline Bridge

Refer to separate report by BSLArch Landscape Consultants

Highline Bridge

- The Highline bridge provides connectivity between Blocks B and C and offers low planting and casual seating as part of the Highline route.
- Extruded seating and planter forms rise out of the geometric paving pattern and offer vantage points to view the new streets below and Connolly Square beyond.
- This is a consistency of design approach in terms of the Highline materiality and form to offer visual legibility within this geometric landscape environment. The Highline materiality visually connects to the Block B terrace and draws people around the Highline in order to avail of the internal residential amenity spaces.



Key Plan



Design Reference



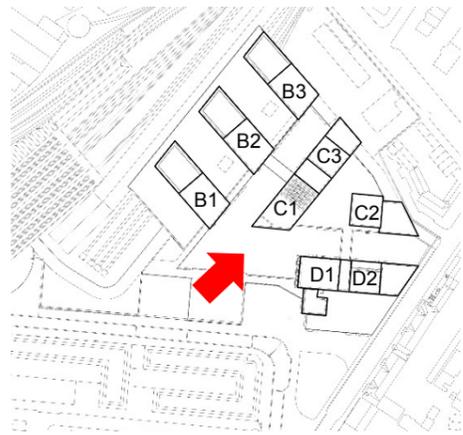
The Highline

Block B and C from the Highline Bridge

Refer to separate report by BSLArch Landscape Consultants

Highline Community

- The SHD proposal delivers the full extent of Highline with a 'temporary' Highline connecting over the protected Workshop building. In the event of the commercial buildings being developed as part of a separate planning submission, it is envisaged that the 'temporary' sections shall be fully integrated.
- The Highline form is a geometric construct and appears as a separate layer above the organic form streetscape below. The unique industrial past is referenced through industrial forms including the Highline beam, metal truss forms and metal railings. The Highline is the ideal location to view the full backdrop of architecture and landscape and gives a full appreciation of the 'landscape islands'.



Key Plan



Connolly Square Planting



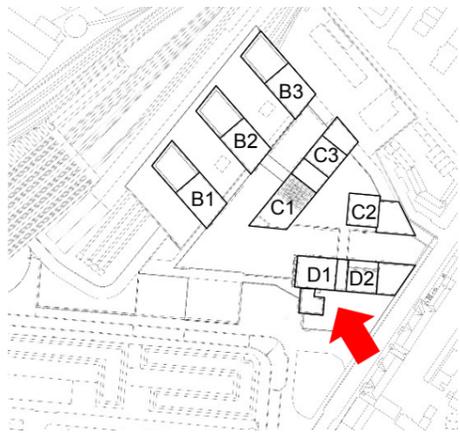
The Highline

Block D1 Highline Gardens

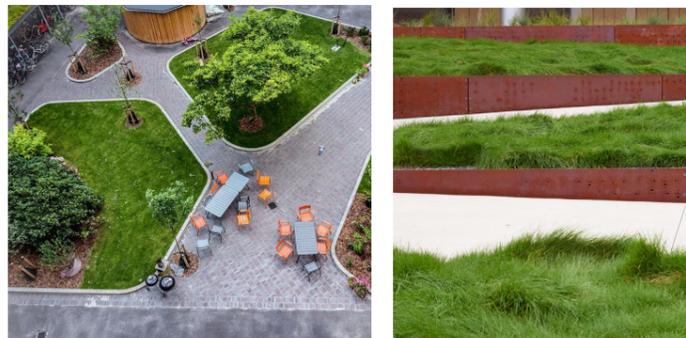
Refer to separate report by BSLArch Landscape Consultants

Highline Gardens

- The Block D1 gardens (communal open space) are south facing and as such would become a 'suntrap destination' for all Connolly residents. The form and proportion of the spaces allows for a variety of designated uses including and outdoor gym/leisure space and a series of seating and landscape zones (visual amenity) The Highline landscape finishes are high quality and highly durable in order to support the high activity use.
- The space is bounded by residential amenity space but also overlooks the Oriel St and the new east-west street connection between Oriel St and Commons St.
- The landscaping is configured to lead people towards the Block D1 'underpass'. This mirrored aperture shall be lit at evening time and shall offer a covered external space for residents who wish to avail of the residential amenity spaces within Block D.



Key Plan



Design Reference



The Highline

Highline Aerial View

Refer to separate report by BSLArch Landscape Consultants

Full Connectivity

- The SHD proposal delivers the full extent of Highline with a 'temporary' Highline connecting over the protected Luggage Store and Workshop buildings. As the commercial buildings are being developed as part of a separate planning submission, it is envisaged that the 'temporary' sections will be fully integrated.
- The Highline form is a geometric construct and appears as a separate layer above the organic form streetscape below. The unique industrial past is referenced through industrial forms including the Highline beam, metal truss forms and metal railings. This creates a visual storyline which connects each of the buildings at this level.



Podium and Roof

Block B Podium Gardens

Refer to separate report by BSLArch Landscape Consultants

Pursuant to the Sustainable Urban Housing: Design Standards for New Apartments 2018 and DCC Development Plan 2016-2022, it is a requirement to provide apartments with private open space in the form of gardens, patios and balconies. The Connolly Quarter scheme does not propose private balconies for each of the units but does however propose extensive areas of private open space and internal residential amenity. Private terraces are however provided at podium (level 04) within Block B. The core design concepts are as follows:

Aspect & Views

- These gardens create a landscaped backdrop to the dramatic and unique views over Connolly Station and towards the north west of the city and are orientated to accommodate good levels of daylight/sunlight penetration into those spaces. The gardens themselves offer a changing daylight condition during the day with prime daylight penetration during the morning and evening hours (hours when residents shall be returning from work and college)

Green Layer

- The gardens are designed as a 'Green Layer' within the overall landscape concept. The 'green backdrop' forms a visual buffer between opposing residential facades whilst the central landscaped areas perform a shared space function. Green mounds are formed above the structural podium level and a range of trees and plants are arranged to create layers of green.

Activity & Meeting Spaces

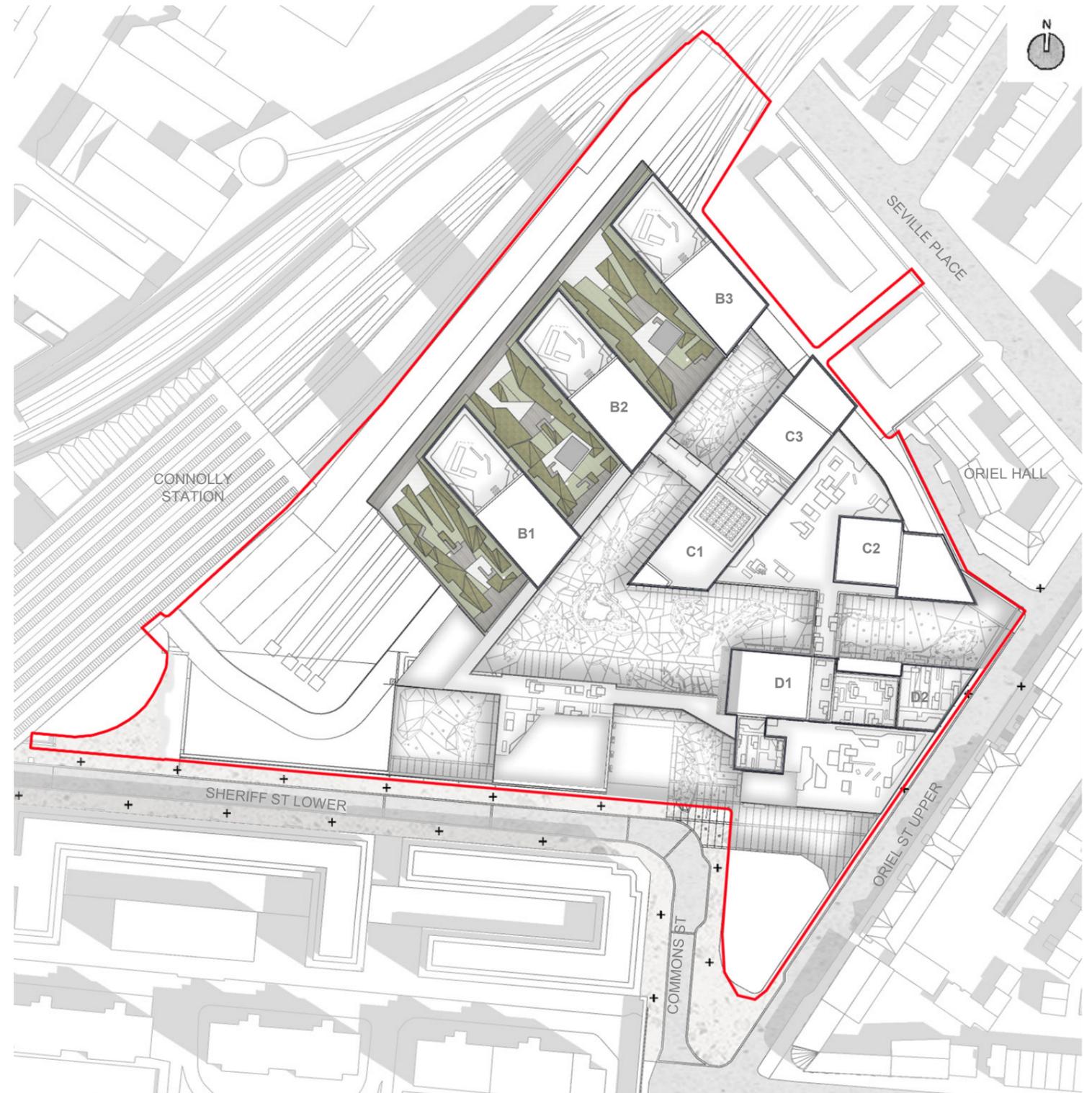
- The centrally located staircase and pavilion acts as a destination for residents who are using the space. The covered external space accommodates informal meeting (under cover from inclement weather) and an opportunity for external dining.

Connected Spaces

- The gardens between each block are connected via a cantilevering walkway which oversails the Connolly Station sidings below and provide panoramic views to the north west. Given each space shall benefit from differing sunlight/daylight quality during the course of the day, the connection ensures that all Block B residents can avail of high quality private open space.



Design Reference



Block B Podium Level Plan

Podium and Roof

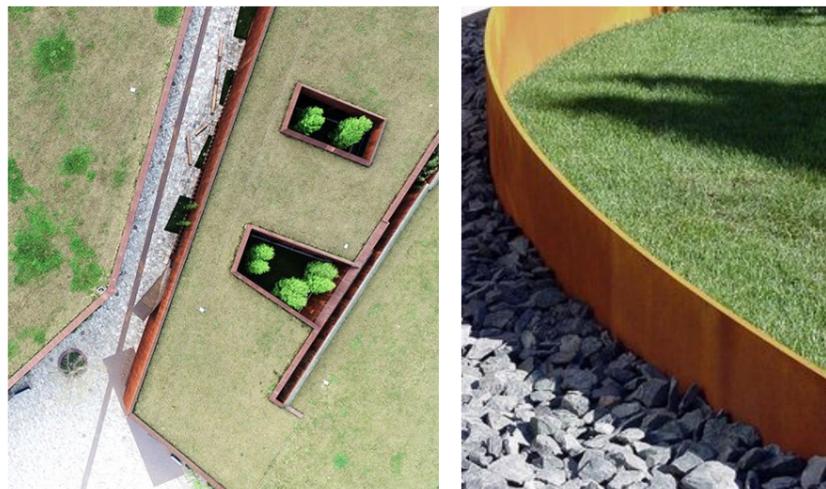
Block B Podium Gardens - Aerial View

Refer to separate report by BSLArch Landscape Consultants

- The podium gardens offer active and visual amenity for those residents looking into these spaces. Whilst the ground and Highline landscape experiences make reference to the shoreline and industrial site characteristics, these gardens are designed to be a 'Contemporary Landscape Layer' and with an 'intensively green' planting strategy which befits the private residential character.
- The centrally located staircase and pavilion acts as a destination for residents who are using the space. The covered external space accommodates informal meeting (under cover from inclement weather) and an opportunity for external dining.

Key issues considered in order to optimize daylight/sunlight:

- Optimum glazing extend to garden level living rooms facing onto the podium.
- Reduced planting height in areas directly in front of living areas.
- The light coloured masonry façade colour of Block B will help to reduce daylight absorption in these areas.



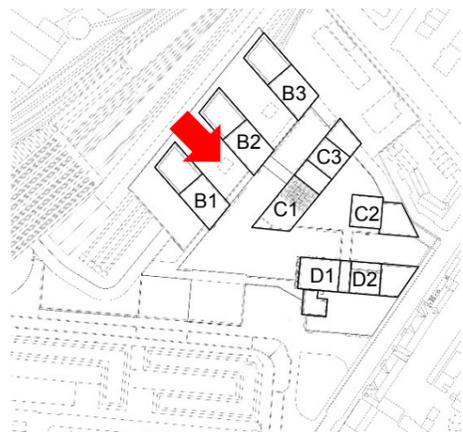
Design Reference

Podium and Roof

Block B - Podium Garden View

Refer to separate report by BSLArch Landscape Consultants

- These gardens create a landscaped backdrop to the dramatic and unique views over Connolly Station and towards the north west of the city, and are orientated to accommodate good levels of daylight/sunlight penetration into those spaces. The gardens themselves offer a changing daylight condition during the day with prime daylight penetration during the morning and evening hours (hours when residents shall be returning from work)
- Private external terrace spaces are defined but not segregated from the overall approach with planted mounds creating a visual buffer between perimeter and central landscaped areas. As per other design concepts within the scheme, the ground plane is conceived as a 'woven rug' of shapes and surfaces with areas of planting and sets being extruded from the geometric plan.



Key Plan



Design Reference

Podium and Roof

Roof Terraces

Refer to separate report by BSLArch Landscape Consultants

Pursuant to the Sustainable Urban Housing: Design Standards for New Apartments 2018 and DCC Development Plan 2016-2022, it is a requirement to provide apartments with private open space in the form of gardens, patios and balconies. The Connolly Quarter scheme does not propose private balconies for each of the units but does however propose extensive areas of private open space terrace which is incorporated at roof terrace level within each block. The core design strategies/concepts include the following:

High Quality & Useable Space

- Given the rooftop location, these spaces benefit from very good levels of daylight/sunlight quality and as such are useable for most times in the year.
- The centrally located private amenity/meeting space is contained within a 2m high glazed screen in order to mitigate against prevailing winds. This screen ensures optimum use of this spaces during the course of the year.

City meets the Sky

- The landscaped roof terraces create a backdrop to the dramatic and unique views over Connolly Station, the north west of the city and towards the Wicklow mountains to the south.

External Terrace Space

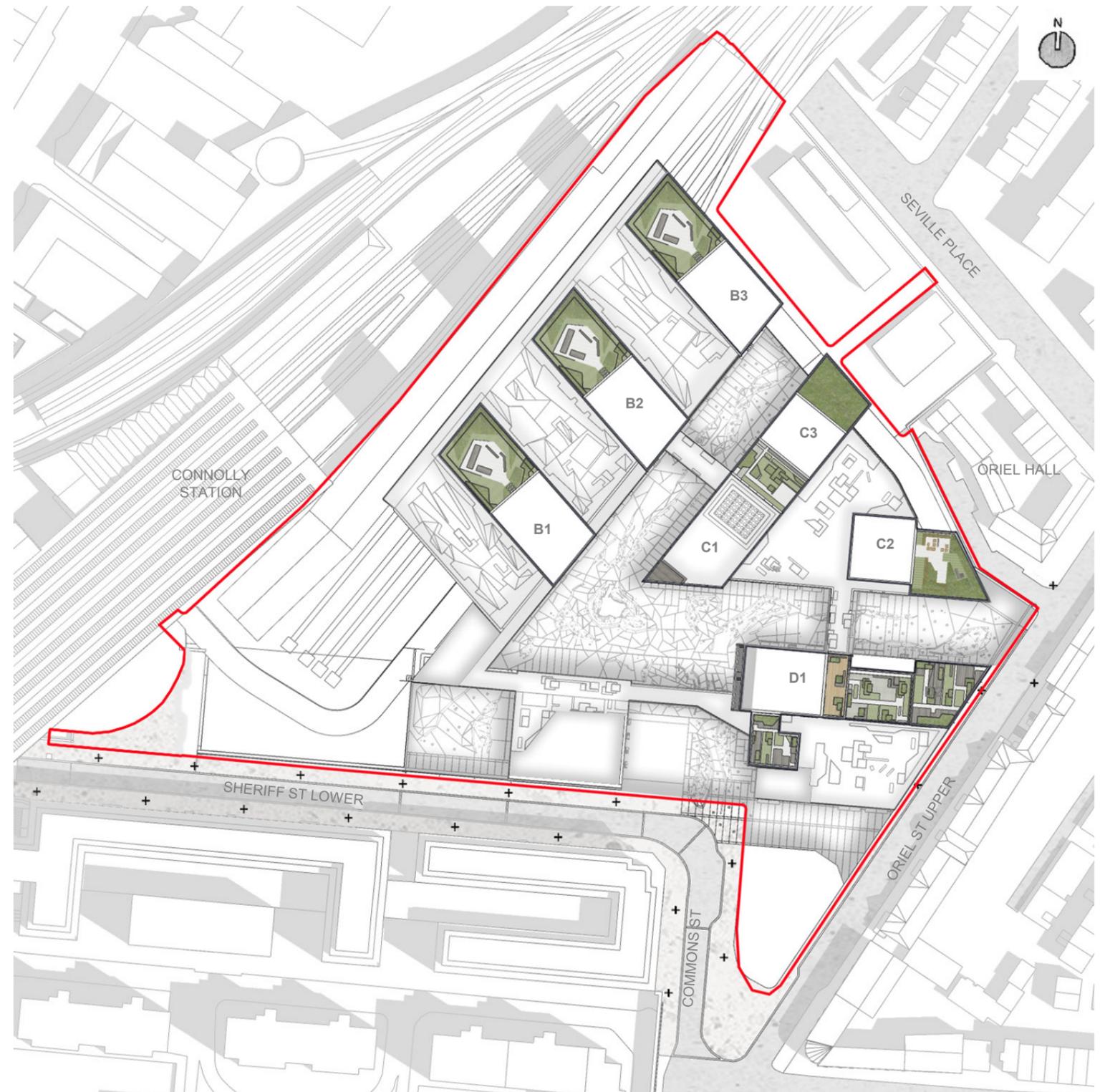
- Blocks B1, B3, C1, C2, C3, D1 and D2 are afforded private roof terraces which are accessible from the top residential unit floors. These external spaces are designed to be 'passive' green roof spaces which integrate an informal meeting space within a 'green enclosure'

External Amenity Space

- The Block B2 roof terrace is distinct from other spaces given its is directly accessible from a top floor residential amenity space. This spatial relationship creates the opportunity for a more active and shared external space experience.



Design Reference



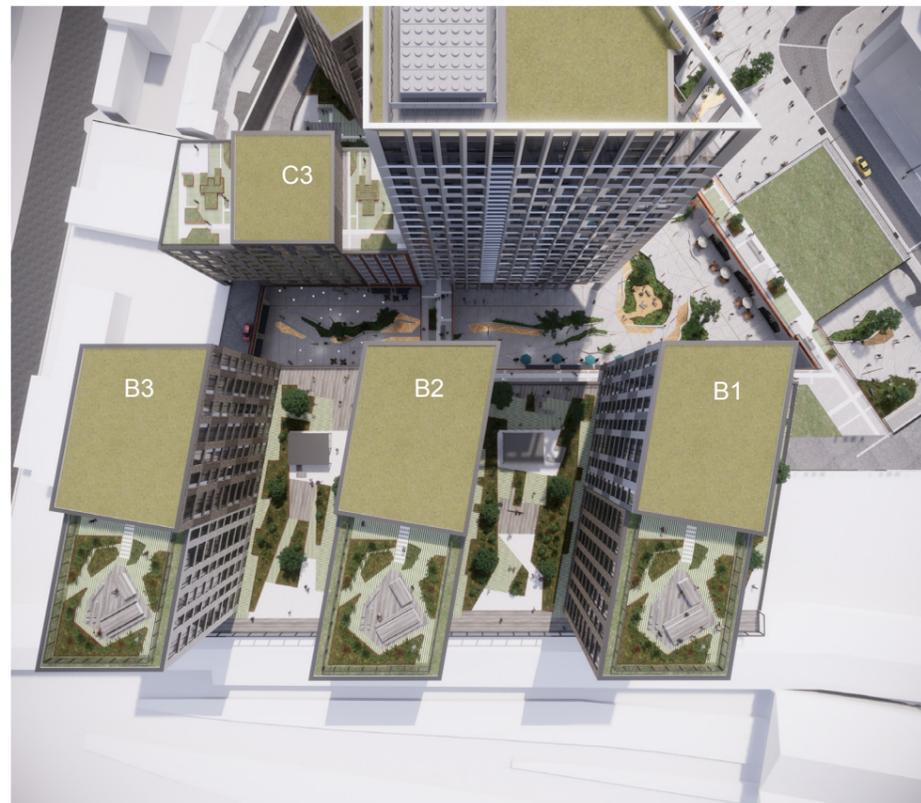
Roof Terrace Plan

Podium and Roof

Block B1 - Roof Terrace View

Refer to separate report by BSLArch Landscape Consultants

- The rooftop gardens offer unique and panoramic views over Connolly Urban Quarter and the city beyond. Given the proximity above ground, they benefit from excellent daylight/sunlight penetration and represent a destination space for Connolly residents. The rooftop gardens are an integral part of the Connolly landscape design proposal and maximise opportunities in terms of views and aspect. The roof gardens can offer a variety of uses including outdoor seating, viewing deck and rooftop gardening/allotments.
- The centrally located private amenity/meeting space is contained within a 2m high glazed screen in order to mitigate against prevailing winds. This screen ensures optimum use of this spaces during the course of the year.



Aerial View



Design Reference

04 SHD - Residential Use & Amenity

Residential Use & Amenity

Connolly Quarter - Built to Rent Experience

Build to Rent Introduction

- The Build to Rent model offers a curated living experience for the residents and the wider community. The residential model enables individuals, at different life stages and income levels, to enjoy the benefits of fully-managed developments with residential and amenity facilities. This model offers well designed and managed apartments, amenities and public space, which combine to create communities that respond to modern lifestyles and working patterns.

Residential Unit Mix

- A broad mix of residential unit types including studio, 1 bed and 2 bed apartment units is incorporated within each of the residential blocks. A good unit mix accommodates a broad and sustainable mix of occupants. (Refer to Appendix B on p.119 for the Connolly Quarter Unit Mix Summary).
- The A2000 Drawing series includes Housing quality audits for each block. These show the requirements for apartments based on the 2018 Apartment guidelines, compared with what we are achieving in our apartments. Every apartment is **fully compliant** with these guidelines.
- The Connolly Quarter is 100% compliant with the 2018 Apartment guidelines (Refer to HQAs in A2000 Drawing Series for more information).

Residential Unit Location

- The majority of residential units are located from Level 2 upwards with a good variety of aspect and view on offer.

Residential Entrance Experience

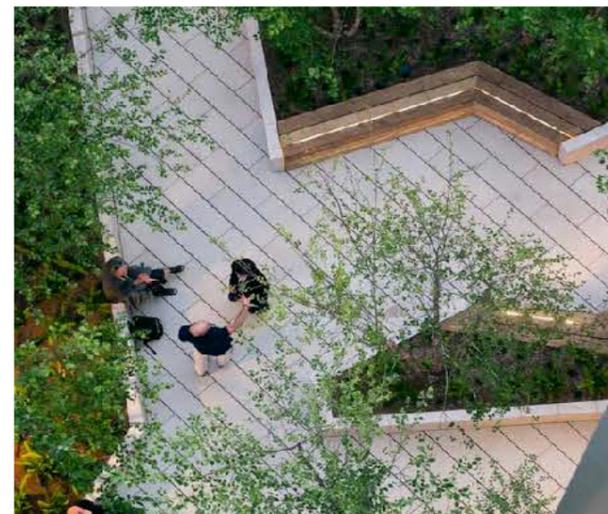
- A main residents reception/concierge and arrival space is located at the base of Block C1 (Tower) A range of management spaces shall be located adjacent to this entrance. Each of the residential blocks are provided with independent entrances from the active ground floor street experience.

Residential Amenity Spaces - Internal

- A range of internal amenity spaces are located at the first floor 'Highline Level' and roof levels. The spaces will include lounges, gyms, meeting/work spaces, cinema rooms and club rooms. The Highline communal open space enables full connectivity of these amenity spaces and nurtures an interactive residential community. All the amenity spaces will be curated spaces with regular events organized by the community managers.

Residential Amenity Spaces - External

- The range of communal amenity spaces are located at the first floor Highline level. The Highline provides full connectivity between the spaces located within Blocks B,C and D. These spaces offer a range of informal activities and meeting spaces within a landscaped setting.



Built to Rent Design Reference

Residential Use & Amenity

Residential Support Facilities

Block C - Ground Floor Plan

Each of the residential blocks is served by independent entrances and residential lobbies. Each lobby shall in turn connect to private and independent cycle storage facilities at ground level.

The residential blocks are served by a central concierge space which is located at the base of Block C1 and is accessed directly from Connolly Square. This double height space is highly visible within the metal clad colonnade at the base of the tower and for the purposes of comparison, can be likened to that of a hotel. From the central concierge the following facilities have been provided:

- Entrance Lobby & Reception Lounge
- Concierge Desk & Residential Services (All blocks)
- Management and Leasing Services
- Parcel Drop-Off (all blocks)
- Delivery Drop Off (Block C)
- Back Office
- Security
- Staff Room/Storage
- Print Room/Store

This double height space leads Block C1 residents up to first floor Highline level via an open staircase and lifts.

Residential Service & Deliveries

- Discreet service access is provided via the Oriel St vehicle entrance with the controlled access leading to an internal vehicle delivery/loading space. Parcels and deliveries are then presented to the parcel and mailbox rooms from whence residents shall then collect in a controlled manner.



Block C1 Entrance View.

Residential Use & Amenity

Residential Support Facilities

Compliance with SPPR7 – Area Schedule



Block C1 Entrance View.



Block B1 Entrance View.

Residential Support Facilities Schedule of Accommodation (NIA)			
Block	Name	Level	Area (m2)
B1	B1 Residential Entrance	Block B - 00 Level	59.3
B2	B2 Residential Entrance	Block B - 00 Level	60
B3	B3 Residential Entrance	Block B - 00 Level	65.4
TOTAL B			184.7
C1	Residential Entrance	Block C - 00 Level	16.9
C1	Residential Entrance	Block C - 00 Level	140.1
C1	Management Office	Block C - 00 Level	14.1
C1	Management Office	Block C - 00 Level	17.5
C1	Staff Room	Block C - 00 Level	28.5
C1	Parcel Room	Block C - 00 Level	17.5
C1	Security	Block C - 00 Level	22.1
C1	Closing Office	Block C - 00 Level	10.7
C2	Residential Entrance	Block C - 00 Level	115.1
C2	Leasing Office	Block C - 00 Level	70.4
C3	Maintenance Office	Block C - 00 Level	92.1
C3	Residential Entrance	Block C - 00 Level	71.3
TOTAL C			616.3
D1	Residential Entrance	Block D - 00 Level	25.1
D2	Residential Entrance	Block D - 00 Level	38.5
TOTAL D			63.6
GRAND TOTAL			864.6

Residential Use & Amenity

Ground Floor Plan

Residential Cores & Entrances

- A main reception/concierge and arrival space is located at the base of Block C1 (Tower). A range of management spaces shall be located adjacent to this entrance. A ground floor management leasing suite shall be accessed from main lobby & visible from the public realm. This arrival suite shall include uses including BOH kitchen staff room, community manager office, assistant manager office, print stationary room, and leasing office, mailbox room and parcel rooms. Maintenance and housekeeping areas are located on lower floor levels.
- Each of the residential blocks are provided with independent entrances from the active ground floor street experience.

Residential BOH & Management

- The primary residential management spaces are located at ground level within Block C.
- A ground floor management leasing suite shall be accessed from main lobby & visible from the public realm. This arrival suite shall include uses including BOH kitchen staff room, community manager office, assistant manager office, print stationary room, and leasing office, mailbox room and parcel rooms.

Residential Cycle Storage

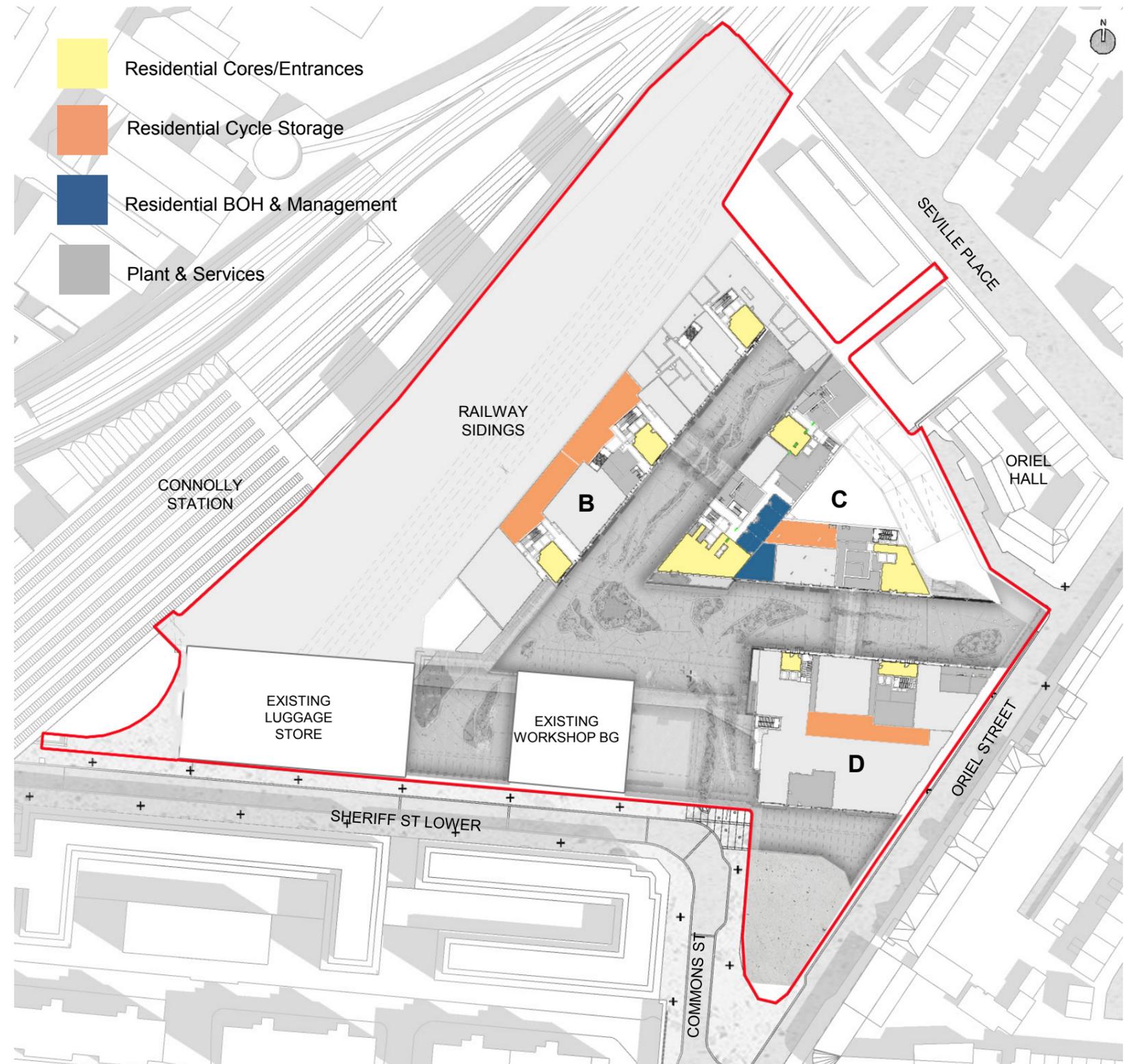
- Cycles are located to the rear of the residential cores with access being shared via the main core. This location ensures ease of access and provides animation of the Connolly streetscape.

Residential Service & Deliveries

- Discreet service access is provided via the Oriel Street vehicle entrance with the controlled access leading to an internal vehicle delivery/loading space. Parcels and deliveries are then presented to the parcel and mailbox rooms from whence residents shall then collect in a controlled manner.

Plant & Services

- Located in areas to be discreet and fully accessible (not in areas to compromise the active street frontage)



Ground Floor Plan – Residential Use

Residential Use & Amenity

First Floor Plan (Highline Level)

Residential Cores & Entrances

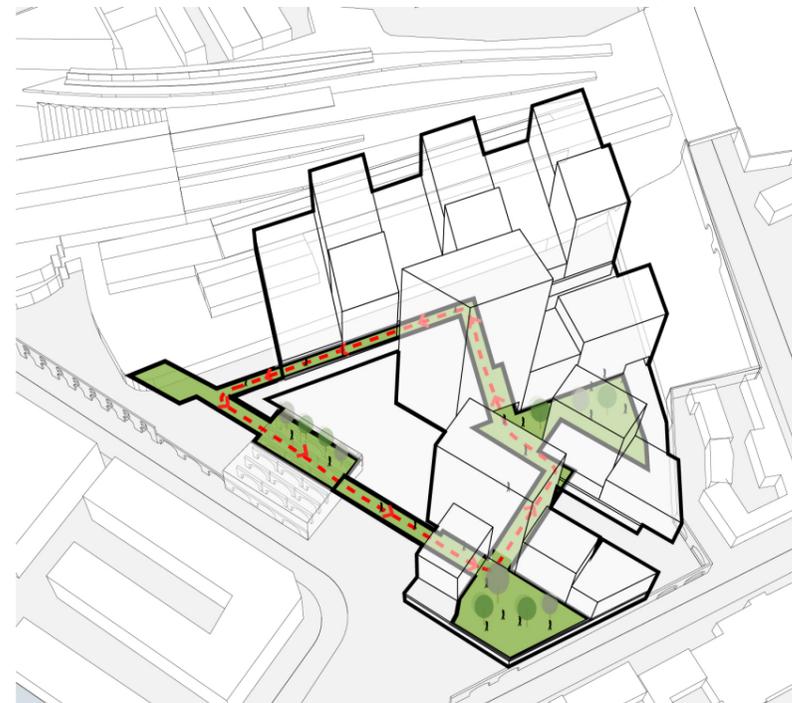
- The individual residential cores connect from ground directly to the Highline residential amenity level. Direct access is provided to the external Highline to gain access to the range of amenities being shared by residents.

Residential Amenity (Internal)

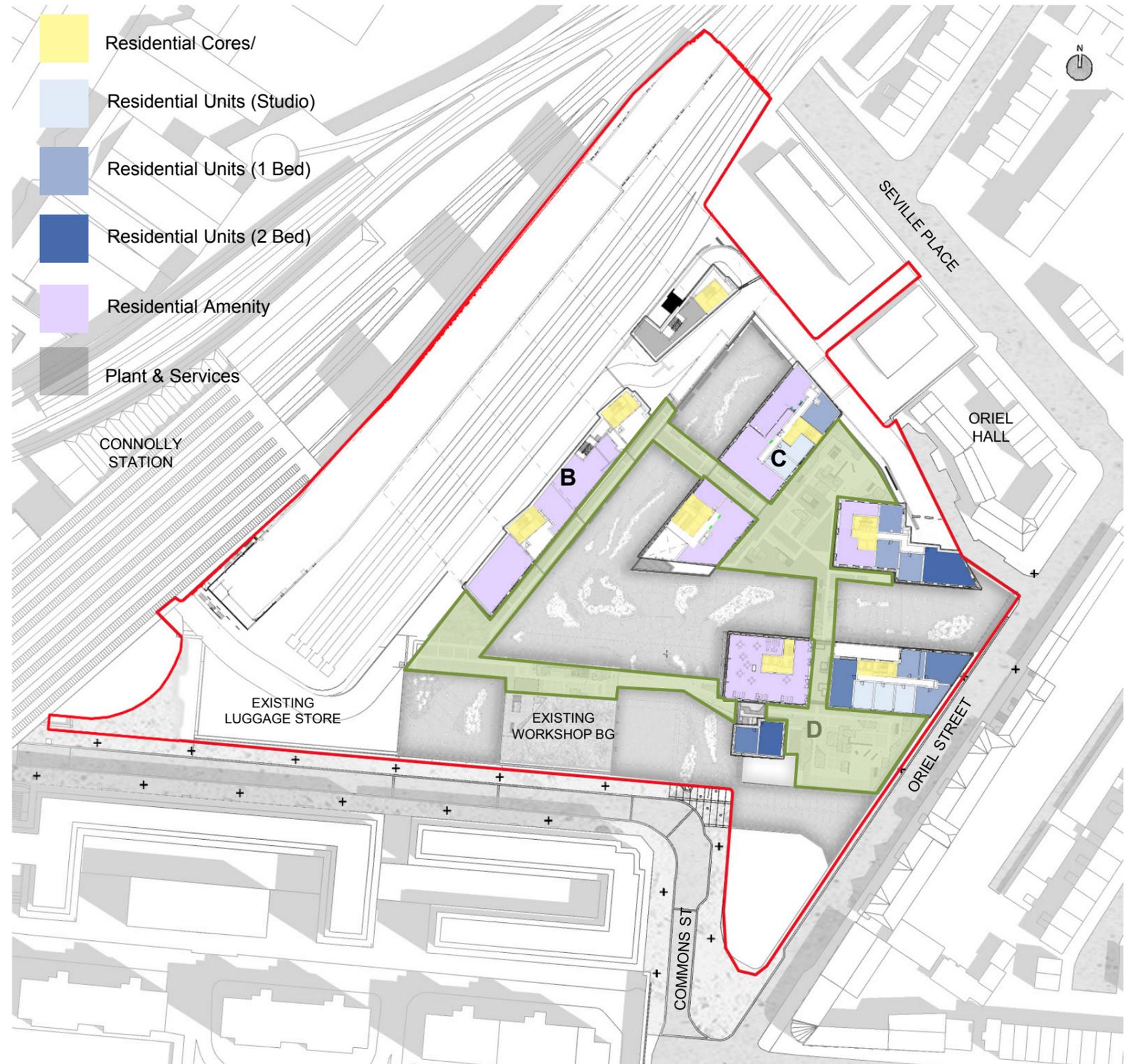
- A range of internal amenity spaces are located at the first floor 'Highline Level'. The spaces may include lounges, gyms, meeting/work spaces, cinema rooms, function rooms, shared kitchen/dining spaces and club rooms. The Highline communal open space enables full connectivity of these spaces and nurtures an interactive residential community. All the amenity spaces will be curated spaces with regular events organized by the community managers.

Residential Units

- A limited number of residential units are located at Highline level. These units benefit from private garden terrace amenity and are located where it is not practical to locate residential amenity (disconnected from the Highline route)



Highline Concept Image



First Floor Plan – Residential Use

Residential Use & Amenity

First Floor (Highline) Residential Amenity

Compliance with SPPR8 – Residential Services and Amenities

Statutory Requirements

Private Amenity Space

Pursuant to the Sustainable Urban Housing: Design Standards for New Apartments 2018 and DCC Development Plan 2016-2022, it is a requirement to provide apartments with private open space in the form of gardens and patios and balconies.

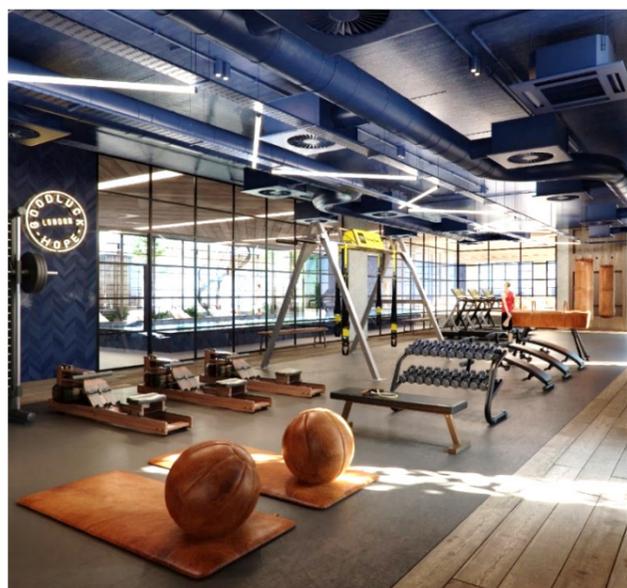
Specific Planning Policy Requirement 8 (SPPR8)

Specifically in Build-to-Rent schemes, it is acknowledged that there is flexibility in the approach to the proportion and provision of private amenity space;

'Flexibility shall apply in relation to the provision of a proportion of the storage and private amenity space associated with individual units as set out in Appendix 1 and in relation to the provision of all of the communal amenity space as set out in Appendix 1, on the basis of the provision of alternative, compensatory communal support facilities and amenities within the development'

Appendix 1, sets out the following minimum floor areas for private amenity space:

- 1B1P Studio: 4m2
- 1B2P Apartment: 5m2
- 2B4P Apartment: 7m2
- 3B5P Apartment: 9m2



Precedent Images

Residential Services and Amenity Schedule of Accommodation

Block	Name	Level	Area (m2)
B1	Resident's Dining Room	Block B - 01 Level	124.2
B1	Resident's Gym	Block B - 01 Level	250.6
B1	Resident's Lounge	Block B - 01 Level	65.3
B1	Residential Work Zone	Block B - 02 Level	75
B2	Residential Amenity	Block B - 14 Level	356.7
TOTAL B			871.8
C1	Resident's Work Space	Block C - 01 Level	39.8
C1	Resident's Bar and Lounge	Block C - 01 Level	194
C2	Residential Amenity	Block C - 01 Level	126.8
C3	Residential Amenity	Block C - 01 Level	153.1
C3	Resident's Yoga and Spin	Block C - 01 Level	60.6
C3	Resident's Games Room	Block C - 01 Level	72.7
TOTAL C			647
D1	Residential Amenity	Block D - 01 Level	325.5
D1	Residential Amenity	Block D - 13 Level	30.5
TOTAL D			356
GRAND TOTAL			1874.8*

*A lower figure of 1,444 sqm has been assumed in the development description to allow future flexibility of Resident Amenity Space Fit out, and full compliance with SPPR (b)ii.

Residential Use & Amenity

Communal & Private Amenity Schedule

Required Amenity Area	
Required Private Amenity (as per Apartment Guidelines)	4,003m ²
Required Communal Amenity Area (as per Apartment Guidelines)	4,003m ²
Total Amenity Area Required	8,006m²
Provided Amenity Area	
Private Amenity Area Provided by Balconies	165m ²
Private Amenity Area Provided by Internal Residential Amenity	1,444m ²
Private Amenity Area Provided by Roof Gardens	2,423m ²
Communal Amenity Area Provided by Highline Level	3,149m ²
Communal Amenity Area Provided by Podium Gardens	3,072m ²
Total Amenity Area Provided	10,253m²



Communal/ Private Amenity Areas

Residential Use & Amenity

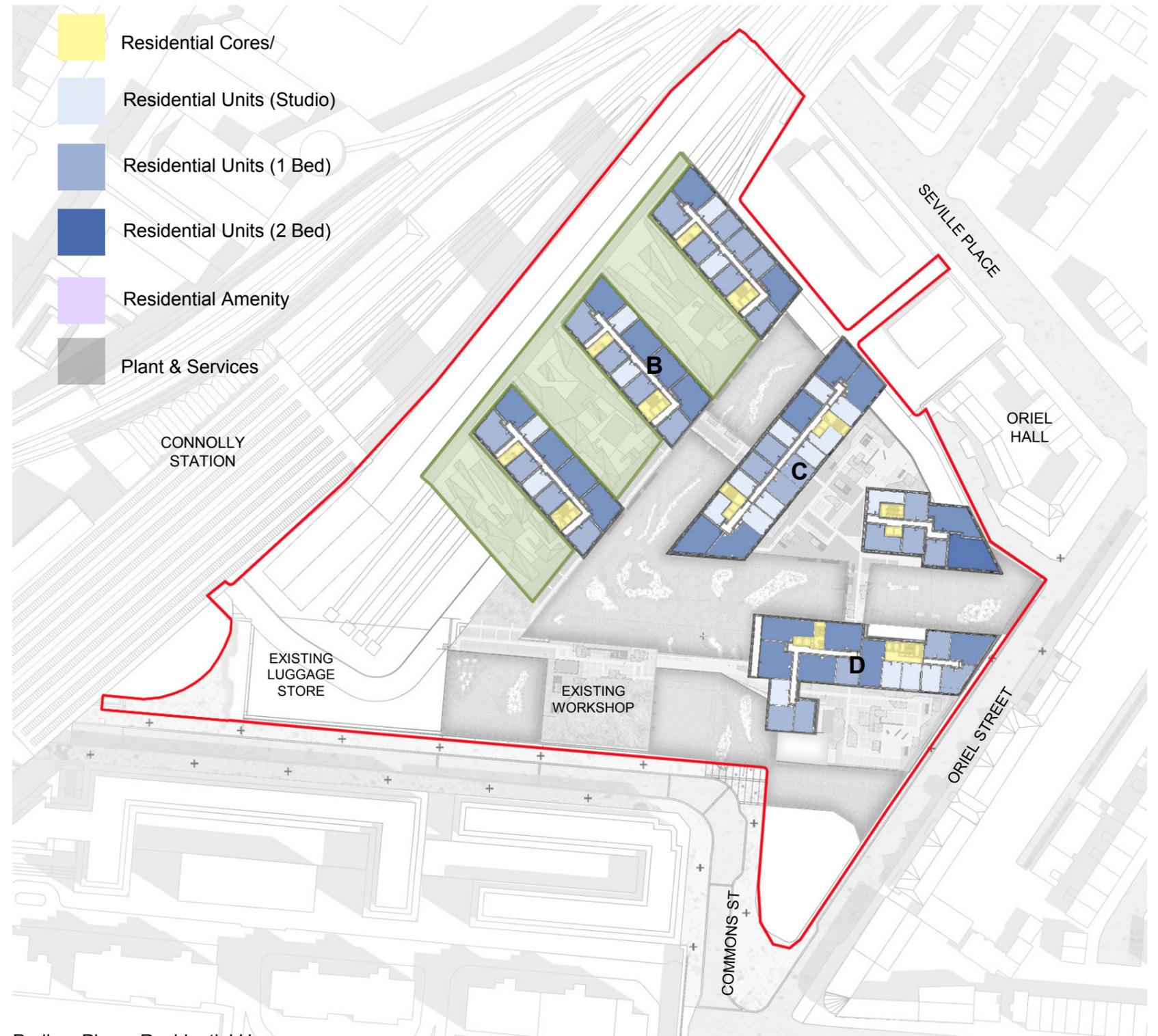
Fourth Floor Plan (Block B Podium Level)

Residential Cores & Entrances

- The individual residential cores connect from ground directly to all private residential floors above to provide secure and efficient access.

Residential Units

- A mix of studio, 1 Bed and 2 Bed residential units are located at this level. Units are afforded private terraces at garden level within Block B whilst all units have secure access onto the garden areas from the shared core access.



Podium Plan – Residential Use



Block B Aerial Image

Residential Use & Amenity

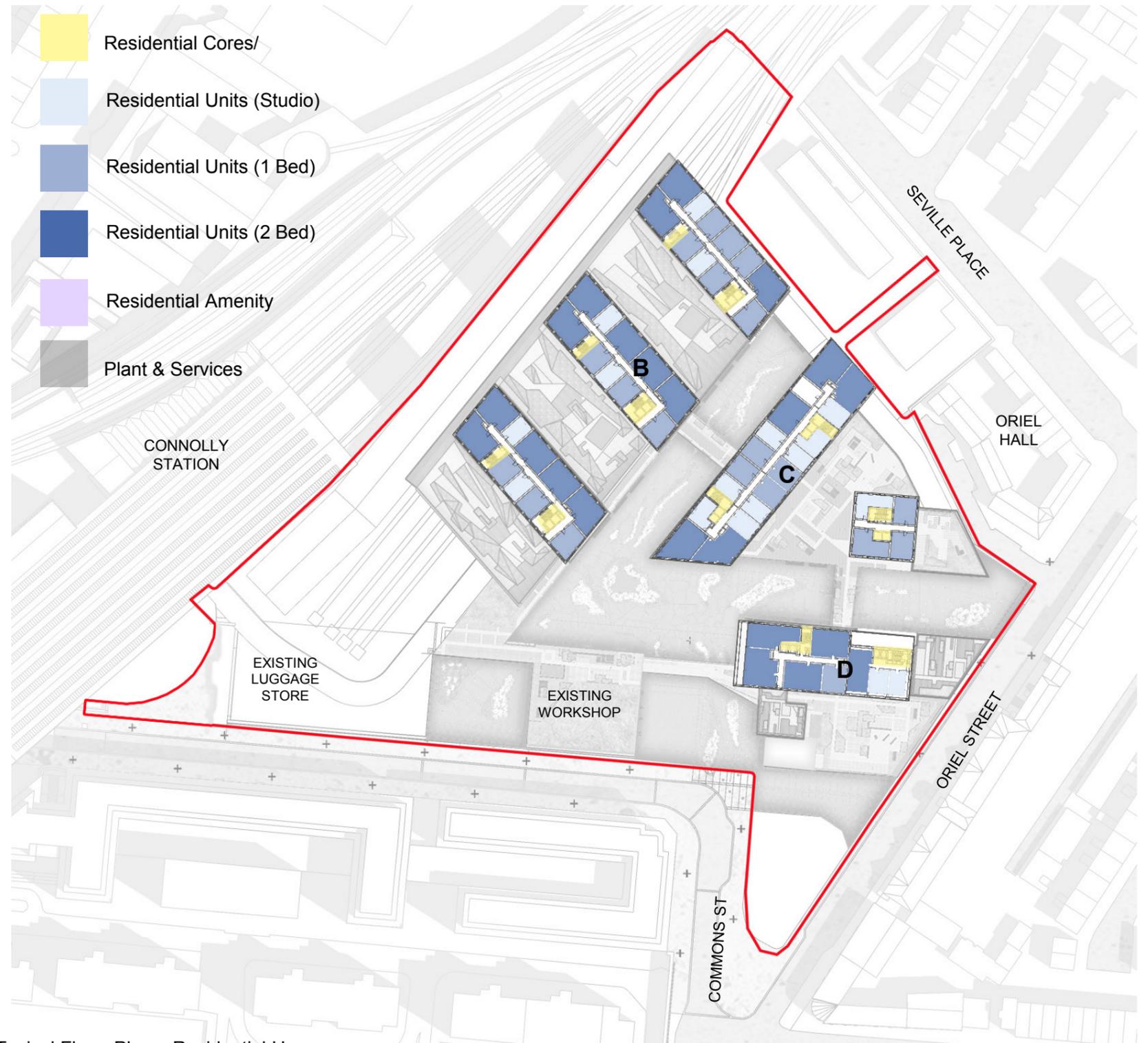
Typical Floor Plan

Residential Cores & Entrances

- The individual residential cores connect from ground directly to all private residential floors above to provide secure and efficient access.

Residential Units

- A mix of studio, 1 Bed and 2 Bed residential units are located at this level. Dual aspect units have been maximised and are primarily located at the ends/corners of the residential blocks.



Design Reference Images

Typical Floor Plan – Residential Use

Residential Use & Amenity

Dual Aspect Units

The scheme is required to provide a minimum of 33% dual aspect units and avoid north facing, single aspect units.

42% of units proposed are dual aspect and there are no north facing, single aspect units.



Typical Floor Plan – Dual Aspect Apartments

Dual Aspect	
Block	Apt. Count
B1	42
B2	41
B3	41
C1	72
C2	42
C3	14
D1	44
D2	18
Total	314 (42%)

05 Non Residential Use

Non Residential Use

Ground Floor Plan

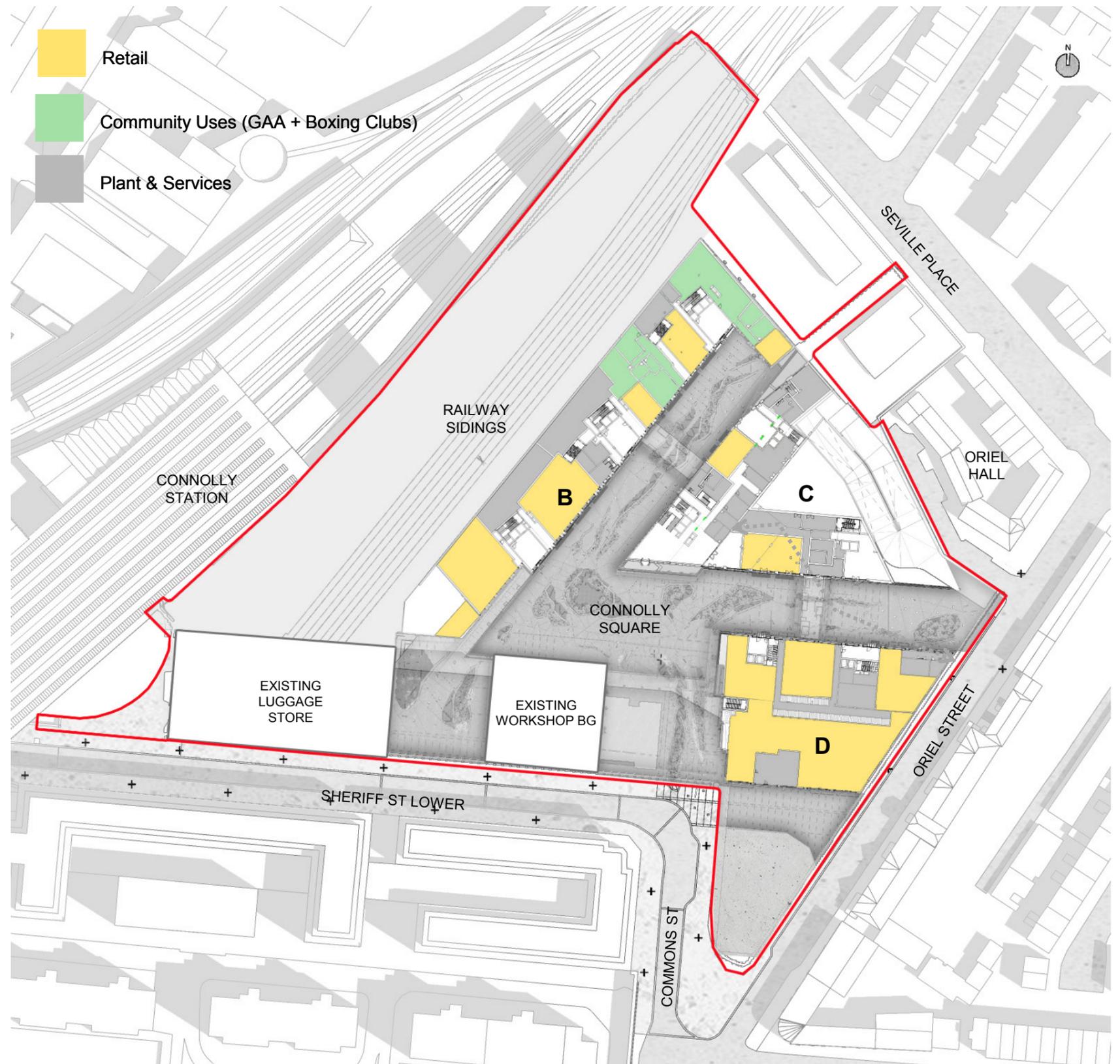
To create a unique mixed use community with a sustainable mix of uses on this city centre site The Connolly streetscape can deliver the following in terms of amenity uses:

Commercial Uses

- The ground floor is designed to maximise active frontage along the proposed new streets and public open spaces and to meet the needs of the future footfall through the site. A range of retail, café, leisure and other commercial uses is envisaged which shall meet the needs of the local community and new residents within Project Connolly.
- All entrances into the residential blocks are located at street level which shall ensure activation of the public open spaces throughout the day.

Community Uses (Block B)

- Space has been reserved on the ground floor of the scheme for community use. The local GAA club (St. Joseph's O'Connell Boys) and the local Boxing Club will be relocated into part of this application.



Reference Image

Non Residential Use

Block B - Podium Car Park Deck

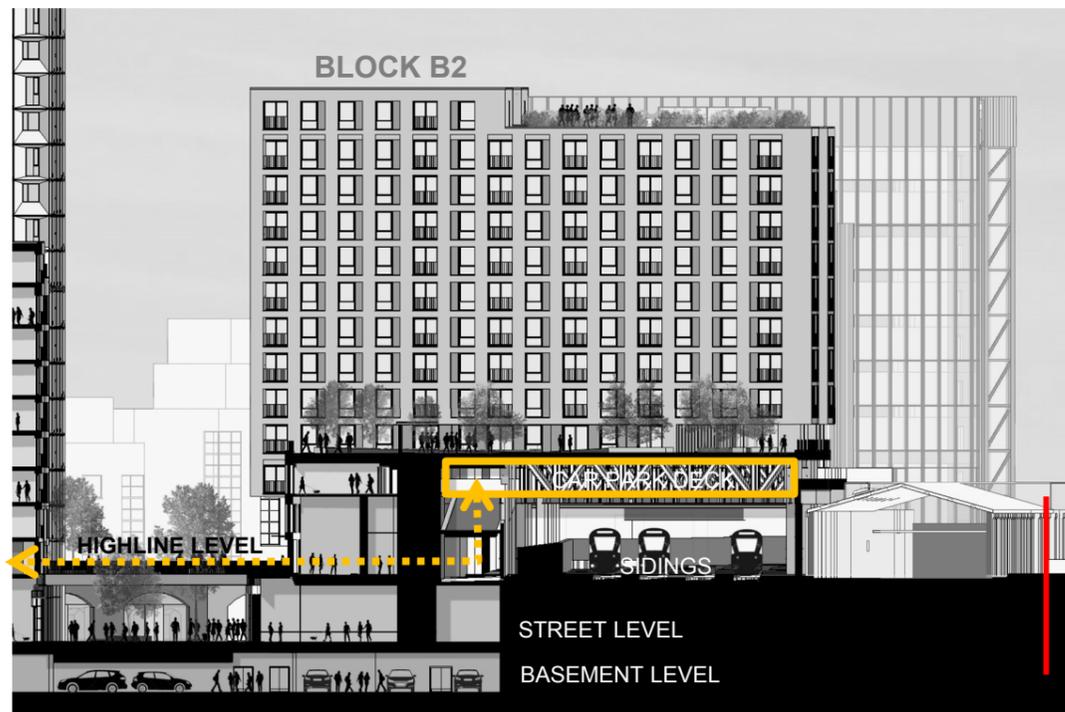
Connolly Quarter is designed to be a pedestrian priority scheme. Residential car parking is non priority given the proximity to Connolly Rail Station and other public transport connections.

There are currently 390 existing car parking spaces on site which exist to support the Connolly Station rail operations. There is a legal requirement to retain/relocate 180 CIE spaces within the overall masterplan in order to support the Connolly Station operations.

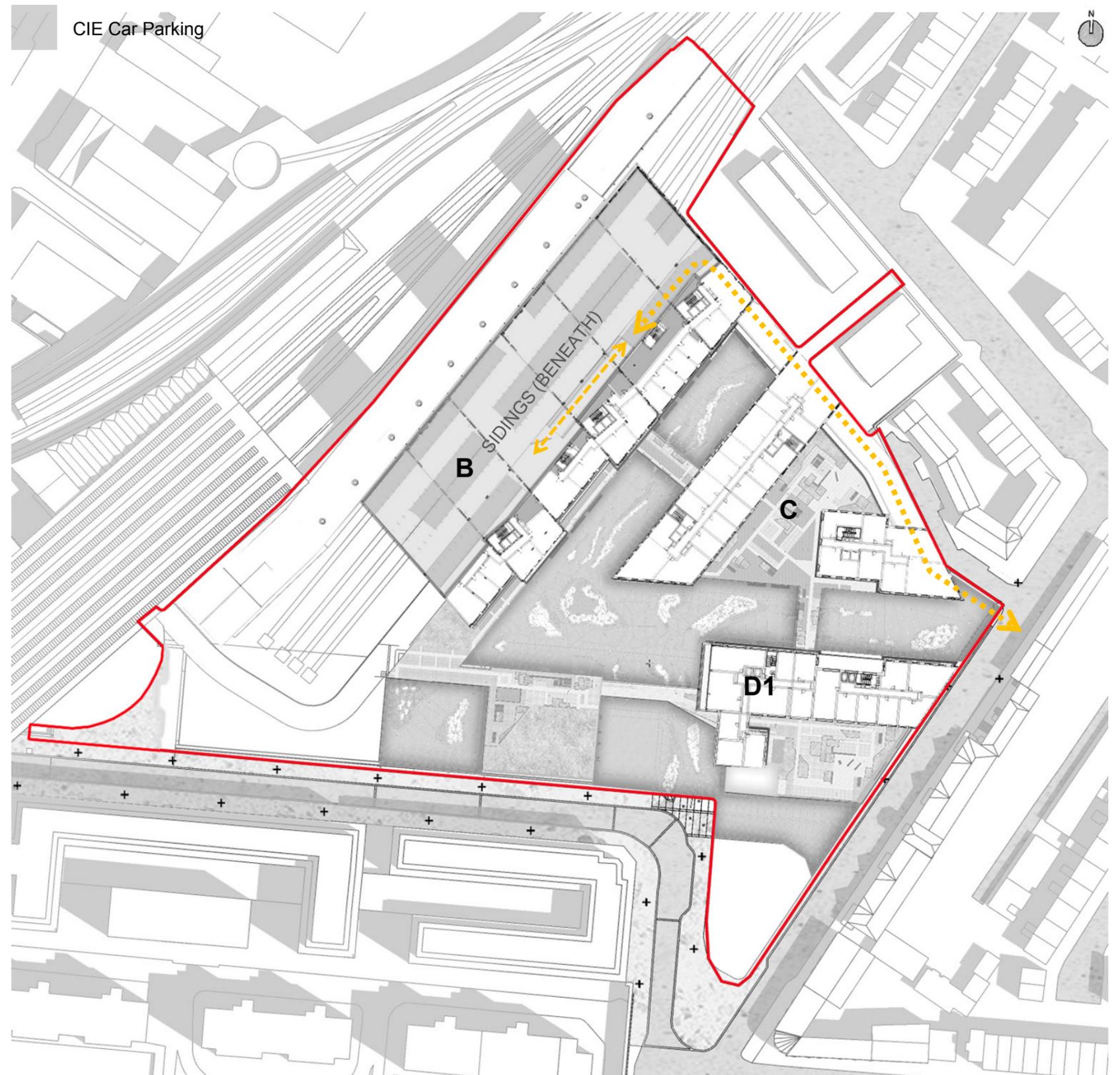
Podium Car Park Design

- Car parking is accommodated within the depth of the structural truss which supports Block B above and oversails the existing Irish Rail sidings.
- Ramped access to this elevated car parking level is provided between the existing sidings and the rear of the Block B accommodation.

Note: Refer to separate car parking schedule for confirmation of overall parking totals.



Block B Section Diagram



06 Building Height

Building Height

Building Height Context Analysis



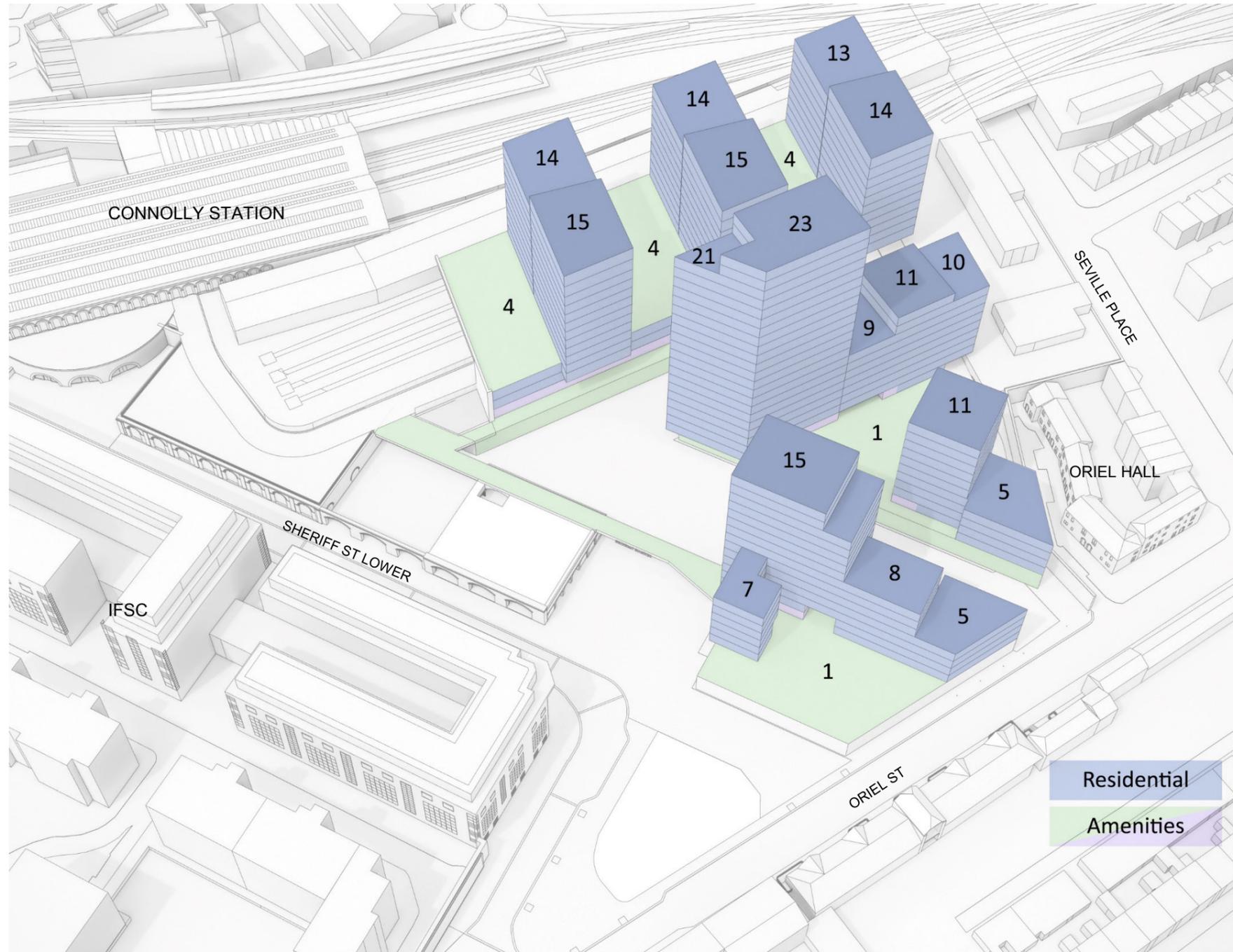
Dublin Area Satellite image showing contextual buildings 50+m

A local building height assessment was undertaken to determine appropriate proposed buildings heights in order to compliment the local and wider city context and to deliver optimum residential accommodation within this prime city centre site. Key policy reference points include:

- SPPPR1 - increased building height in locations with good public transport accessibility
- SPPR2 – city scale / street scale / visual impact

Building Height

Building Height Context Analysis & Compliance with SPPR1



Proposed Height and Use Mix

SPPR1

SPPR1 states the following:

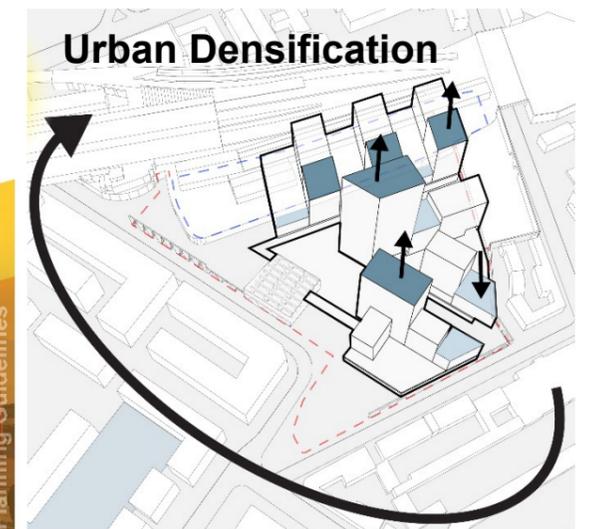
In accordance with Government policy to support increased building height in locations with good public transport accessibility, particularly town/ city cores, planning authorities shall explicitly identify, through their statutory plans, areas where increased building height will be actively pursued for both redevelopment and infill development to secure the objectives of the National Planning Framework and Regional Spatial and Economic Strategies and shall not provide for blanket numerical limitations on building height.

Urban Densification (Proposed)

Given the prime site location adjacent to Connolly Station it is proposed that the site is ideally suited to deliver increased height. It is proposed that increased height delivers the following key advantages for the site and the city:

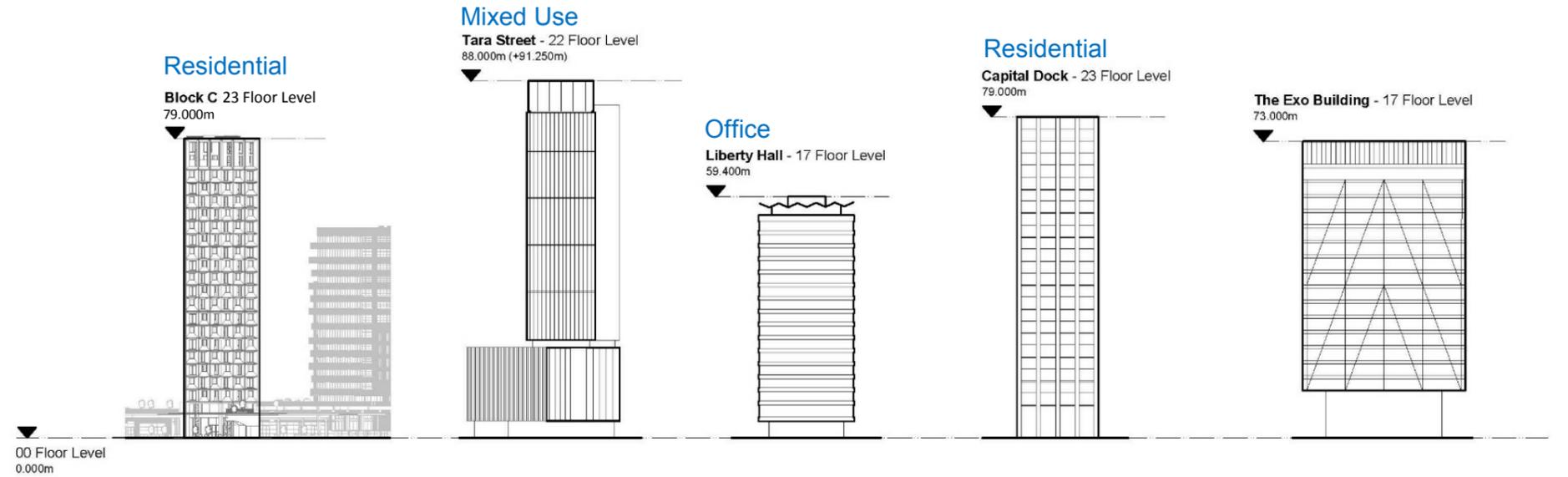
- Maximised utilization of this brown field site.
- Maximised residential units/densities on this key city centre site.
- Creates maximum residential footfall to/from Connolly Station and existing local amenities.
- Creates urban residential densities which shall support a range of new street level commercial amenities.
- Create a strategic new landmark on the Dublin skyline.


 An tAire Tíochta,
 Pleanála agus Aistriúchán Ábairtí
 Department of Housing,
 Planning and Local Government
**Urban Development
 and Building Heights**
 Guidelines for Planning Authorities
 Consultation Draft
 August 2018



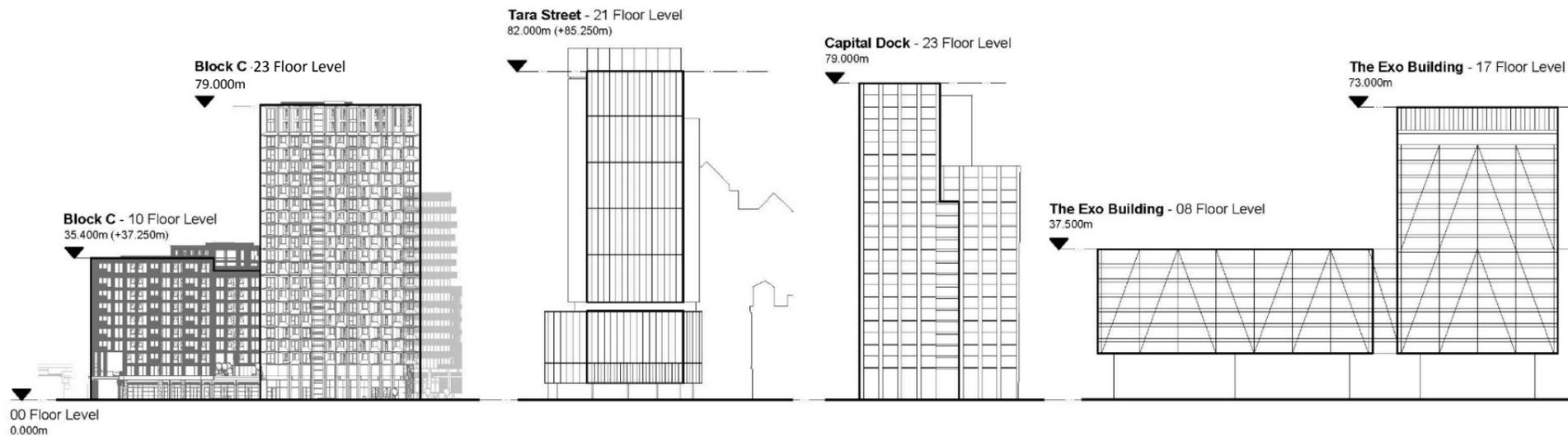
Building Height

Building Height Context Analysis & Compliance with SPPR2 – City Context



Contextual Building Elevation Diagrams - Short Side

Scale: 1:1000



Contextual Building Elevation Diagrams - Long Side

Scale: 1:1000

SPPR2

SPPR2 states the following:

In driving general increases in building heights, planning authorities shall also ensure appropriate mixtures of uses, such as housing and commercial or employment development, are provided for in statutory plan policy. Mechanisms such as block delivery sequencing in statutory plans² could be utilized to link the provision of new office and residential accommodation, thereby enabling urban redevelopment to proceed in a way that comprehensively meets contemporary economic and social needs, such as for housing, offices, social and community infrastructure, including leisure facilities.

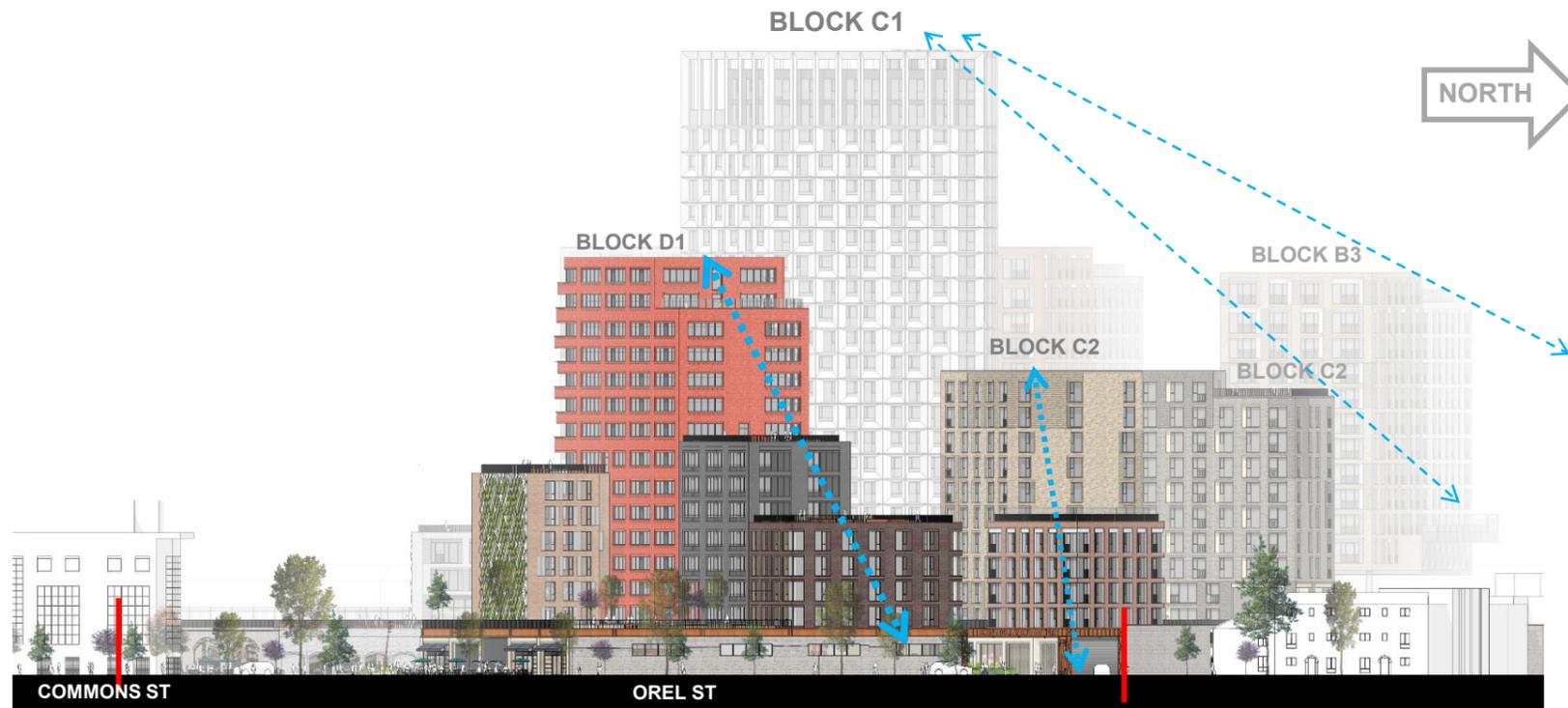
Urban Densification (Proposed)

Given the prime site location adjacent to Connolly Station it is proposed that the site is ideally suited to deliver increased height. The following key criteria have been considered in relation to SPPR2:

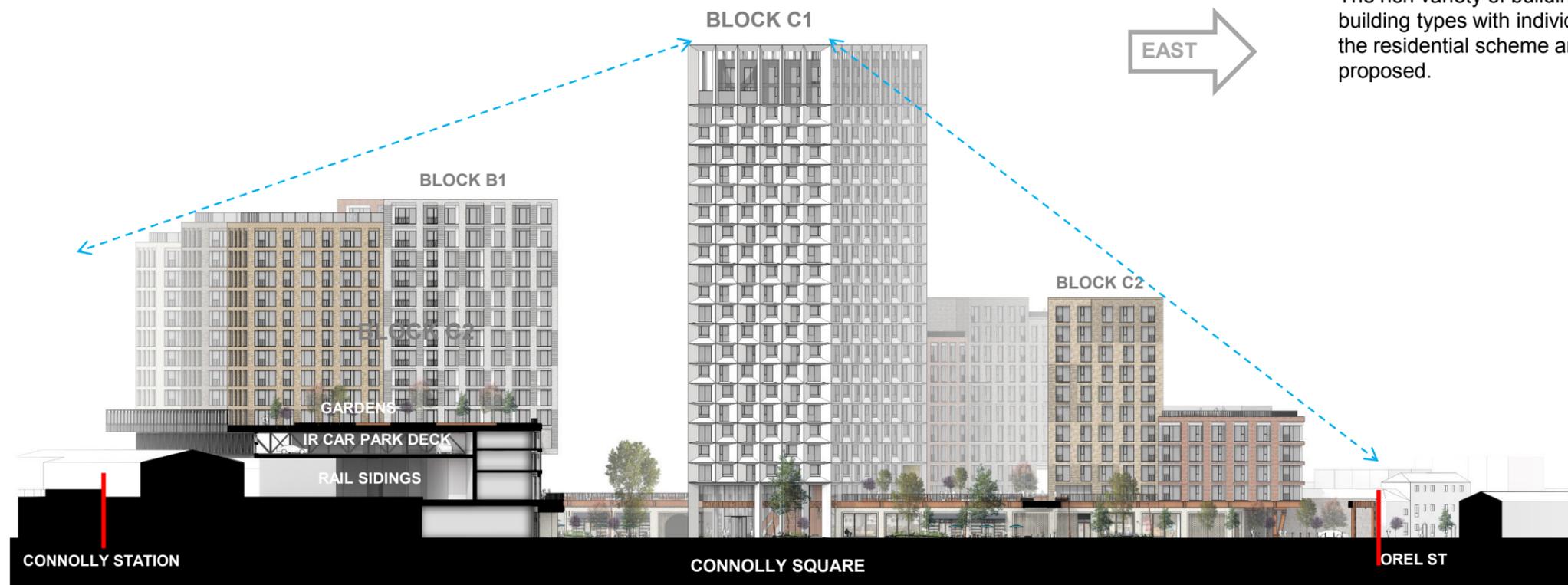
- The proposed height is in line with other existing and proposed buildings which deliver urban densification (additional height) in this part of the city.
- The 23 storey residential tower at Capital Dock is a key design precedent in consideration of Block C1 heights. Both sites offer the opportunity for optimum residential densities given their location and aspect.
- The Exo Building (office commercial) is a key design precedent in consideration of Block C1 massing.
- The SHD delivers the residential component of a larger mixed use masterplan for the Connolly Quarter site. Connolly Quarter delivers an integrated and contemporary mix of uses at optimum achievable heights to meet existing and future economic, social, housing, and employment needs.

Building Height

Building Height Strategy



Oriel St Elevation



Internal Street Section



Aerial View

The proposed urban densification strategy has been managed within the design in the following ways:

Stepped Heights and Volumes

- The overall masterplan principle incorporates a stepped approach to building heights and massing down to the perimeter streets flanking the site.
- The design, layout and separation distances of the building blocks have been designed to optimize the ingress of natural daylight/ sunlight to the proposed dwellings to provide good levels of natural light.
- The hierarchy of volumes and heights is determined by the impact on adjacent communities and on the new open spaces being created within the scheme. Block C1 is proposed as the tallest building given it is removed from site boundaries and is due north of the primary public open space (Connolly Square)
- Lands to the north and north west (towards Connolly station) do not currently offer open space or residential amenity. Block B heights are optimized to deliver optimum residential unit numbers (whilst not compromising the quality of the open space amenity created between the blocks)
- Block C2 steps down in height towards the boundaries with Oriel St and Oriel Hall (existing residential amenities)
- Block C3 steps down in in to the boundary but is marginally taller given its adjacency to the Irish Rail Control Centre.
- Block D2 steps down through x3 distinct blocks to Oriel St.

Form & Materiality

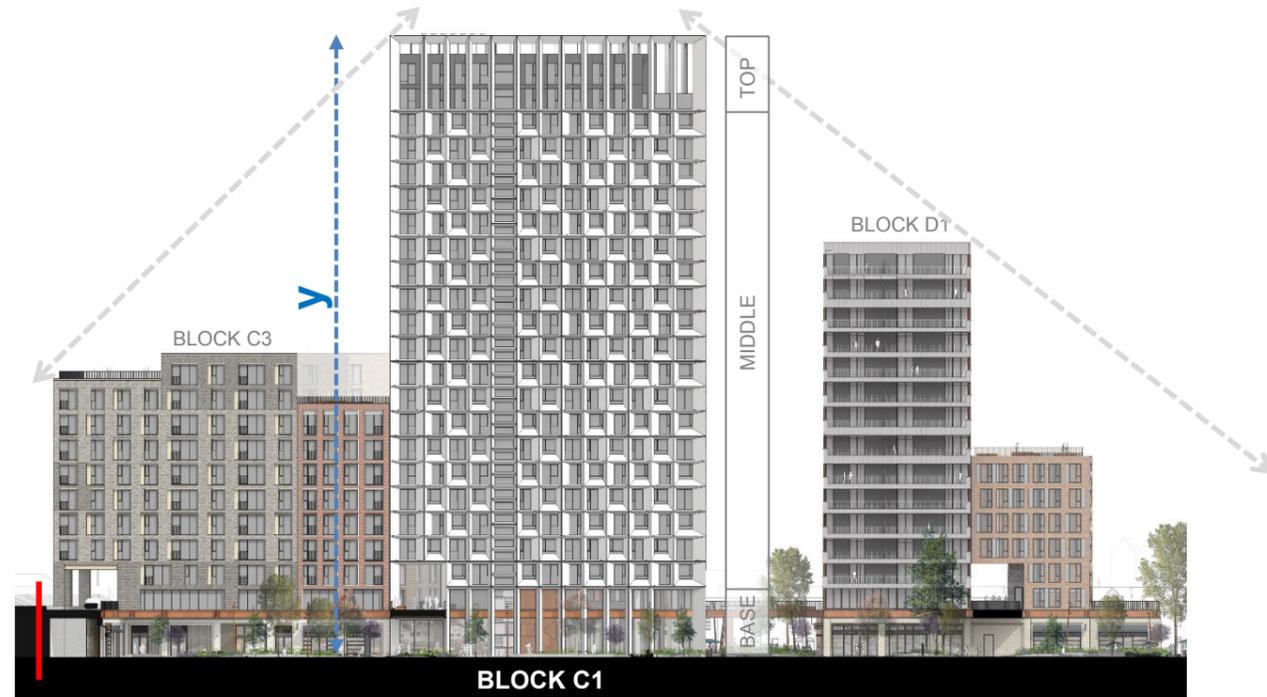
- The rich variety of building forms and façade materiality's creates a 'collection' of building types with individual identities. This variety responds to the human scale of the residential scheme and breaks down the apparent height and mass being proposed.

Building Height

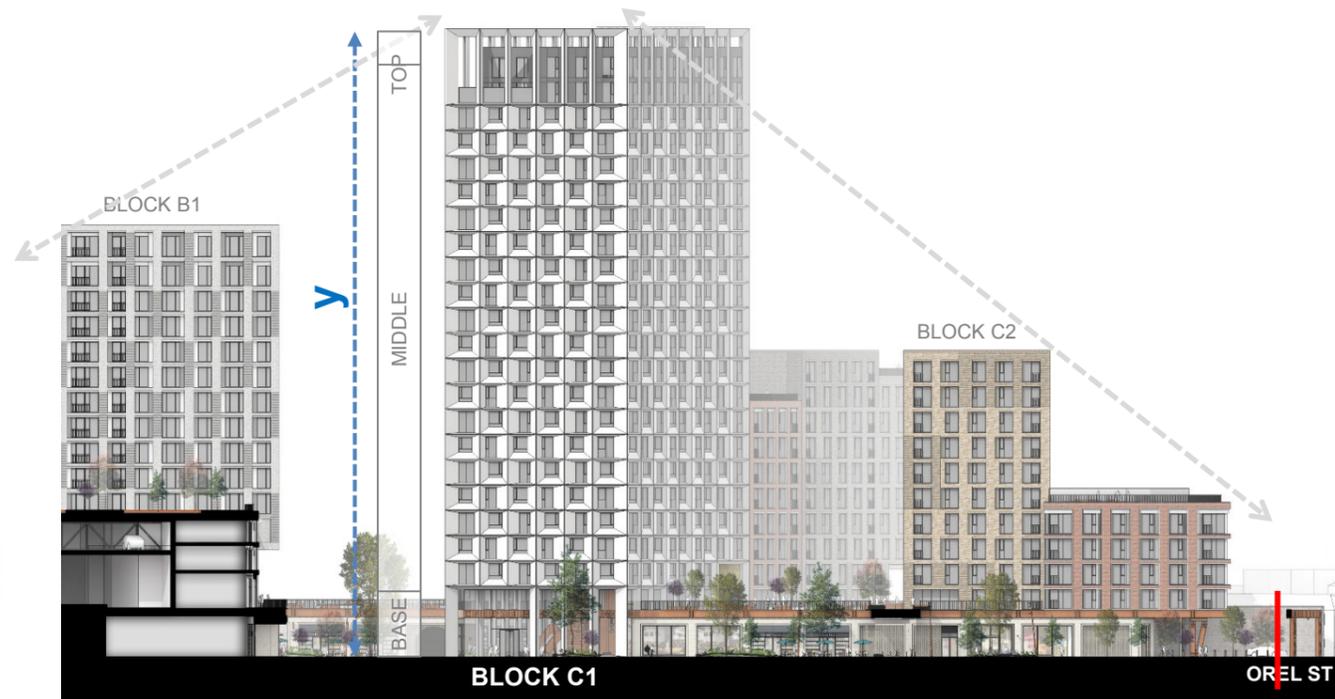
C1 Building Height Concept



Block C1 Visual



West Elevation



South Elevation

The C1 tower design has been developed with the following key issues in mind:

Building Location

- Block C1 is located centrally to the site and as such its impact on adjacent neighbouring areas is carefully controlled.
- Block C1 is at the centre of a proposed 'collection of varying building forms and volumes which 'cascade' to the site boundary
- Block C1 is strategically located to the north of Connolly Square to avoid overshadowing of that primary public space.

Building Footprint

- Block C1 is designed as an efficient and compact residential plan which offers optimum units per floor (x8 units per typical floor)

Height / Floor No's

- The height has been determined by the visual impact relating to sensitive city views (Customs House view) and the relative impact of height in relation to daylight/sunlight at the lower levels of the scheme. Block C1 extends to 23 residential floors above ground (24 floors including the top of roof plant level)

Façade Design

- The C1 building encapsulates the 'White World Within' aesthetic and as such creates a visually distinct and high quality appearance within the overall design composition.
- The façade is broken into 3 distinct vertical sections (base – middle – top) in order to fragment the apparent mass and height.
- The white aesthetic is uniform to each façade in order to generate façade legibility.
- The unique façades are composed of façade modules offering inclined white metallic surfaces and varying window size openings. The overall composition generates a façade rhythm which is varied across the surface.

Slenderness Ratio

West Elevation

Y +79m

X +40m

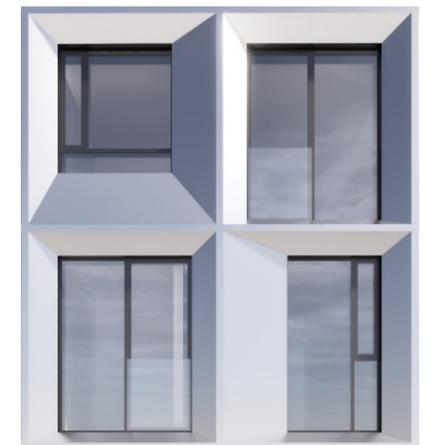
Slenderness Ratio = 2/1

South Elevation

Y +79m

X +23m

Slenderness Ratio = 3.4/1



07 Architectural Approach

Façade Design Principles

The following core design principles have been followed in establishing an appropriate architectural response to the external appearance of the buildings on the site:

Legibility + Visual Coherence

- Facades are composed in accordance with the internal rationale of the residential unit plans, and are based on a carefully designed façade module. A rich diversity is controlled by this unified and legible design approach, and where the composition and detail are informed by the human scale.

Visual Variety

- A sequence of varied facades creates a rich and ‘unfolding architectural story’. The entire visual story is not revealed from a single viewpoint with façade and building relationships being revealed as visitors move through the layered open spaces.
- The facades are designed with materials of the highest quality in mind. Whilst there is an inherent legibility of approach between each building, the assembly of materials differs from building to building to create a subtle richness to the approach.
- Facades of each building have been considered in detail to deliver an overall visual variety but with detailed façade modules designed with detail, colour and textural variety.
- The building forms and facades are designed to create a playful and exciting interface with neighbouring buildings. Connolly Quarter shall become a visual destination for residents, workers and tourists.

Site Context - A Unique Site Response

- The industrial heritage of the site facilitates the appropriate integration of compatible external finishes to the blocks which is contrasted by the “white world” approach to the central urban square.

Durability

- The facades are designed with materials of the highest quality in mind. Whilst there is an inherent legibility of approach between each building, the assembly of materials differs from building to building to create a subtle richness to the approach. The use of brick as the predominant façade material alongside a feature white metallic panel system (Block C1) ensures a low maintenance and durable solution.



Reference Images

Architectural Approach

Architectural Variety

The variety demonstrated in the attached graphic and elevational extracts clearly respond to the planning authority's direction to avoid monotonous treatments.



Collage of Façade Types

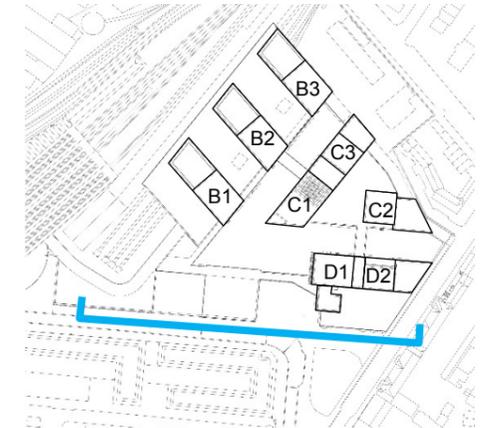


Architectural Approach

Context Elevation – Sheriff St Lower

Variety, Richness and Articulation

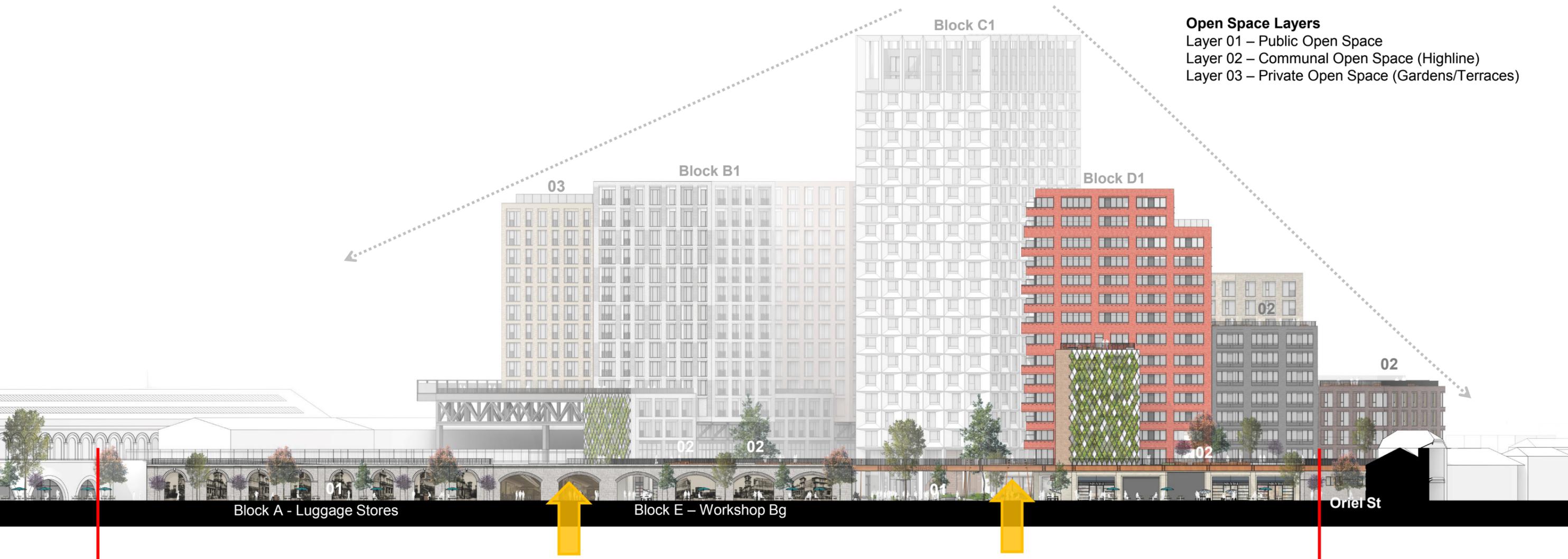
- The creation of the new public space within the scheme necessitates excavation of lands within the site which shall then reveal the existing walls of the x2 protected structures which face onto Sheriff. It is not proposed to create new accommodation within these structures within the SHD proposal (these proposals are described within the Masterplan document and shall form part of a separate planning submission)
- The residential blocks including B,C and D1 are located primarily away from bounding streets and as such the building heights and mass are modelled to avoid an overbearing presence on bounding streets and neighbourhoods.
- The architecture responds to the unique industrial qualities of the location, and has the capacity to become a distinct place within the city. Facades which face directly towards the city are formed from a rich masonry finish, whilst facades facing onto the new public spaces have a more contemporary and white material finish - a unique response to a unique place.
- Block D1 is composed of x3 visually distinct building forms, and materiality's in order to respond to the stepped heights towards the site boundary and to create a visual richness and variety.



Key Plan

Open Space Layers

- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)



Architectural Approach

Context Elevation - Oriel St Elevation

Variety, Richness and Articulation

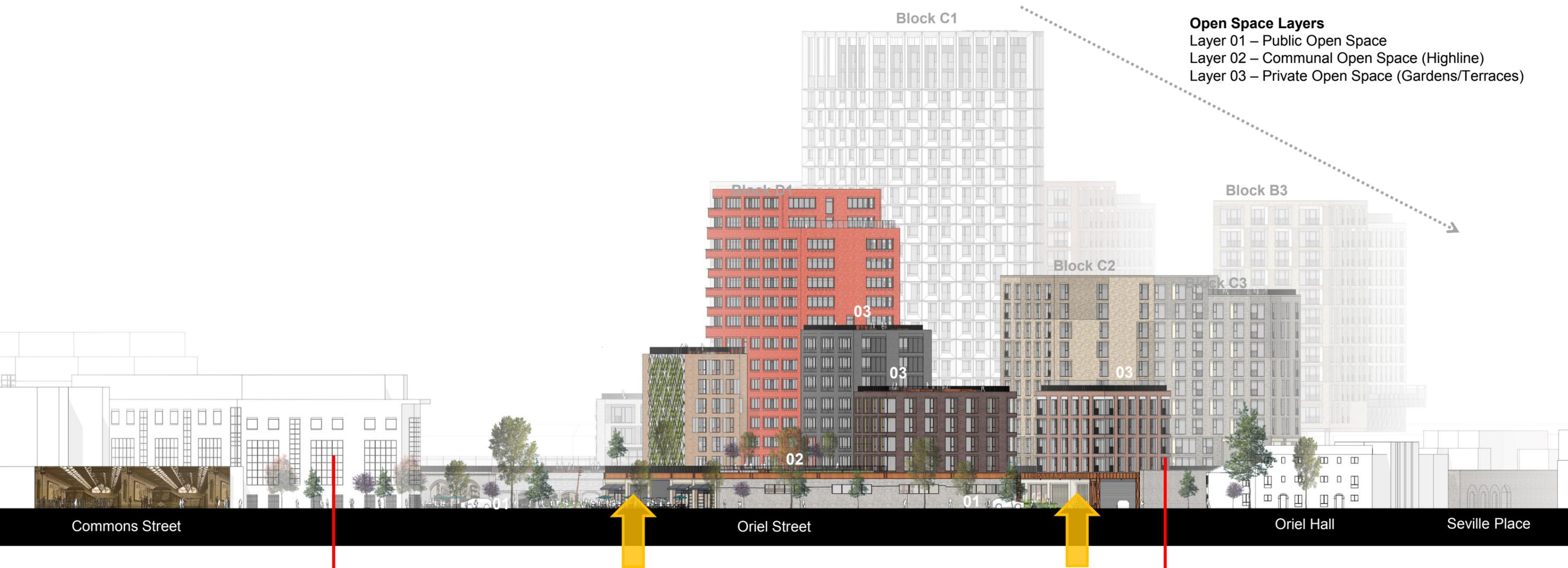
- The residential blocks including C and D1 are stepped in height towards the site boundaries in order to avoid an overbearing presence on bounding streets and neighbourhoods.
- The architecture responds to the unique industrial qualities of the location, and has the capacity to become a distinct place within the city. Facades which face directly towards the city are formed from a rich masonry finish, whilst facades facing onto the new public spaces have a more contemporary and white material finish - a unique response to a unique place.
- The protected stone wall structure facing onto Oriel Street creates a unique interface between old + new and represents a unique memory of the past. The existing boundary walls prevent connectivity between the site and bounding neighbourhoods. The wall is fragmented to reveal new spaces and activities whilst allowing new street connections into the site from Oriel Street.



Key Plan

Open Space Layers

- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)



Architectural Approach

Context Elevation - Seville Place Elevation

Variety, Richness and Articulation

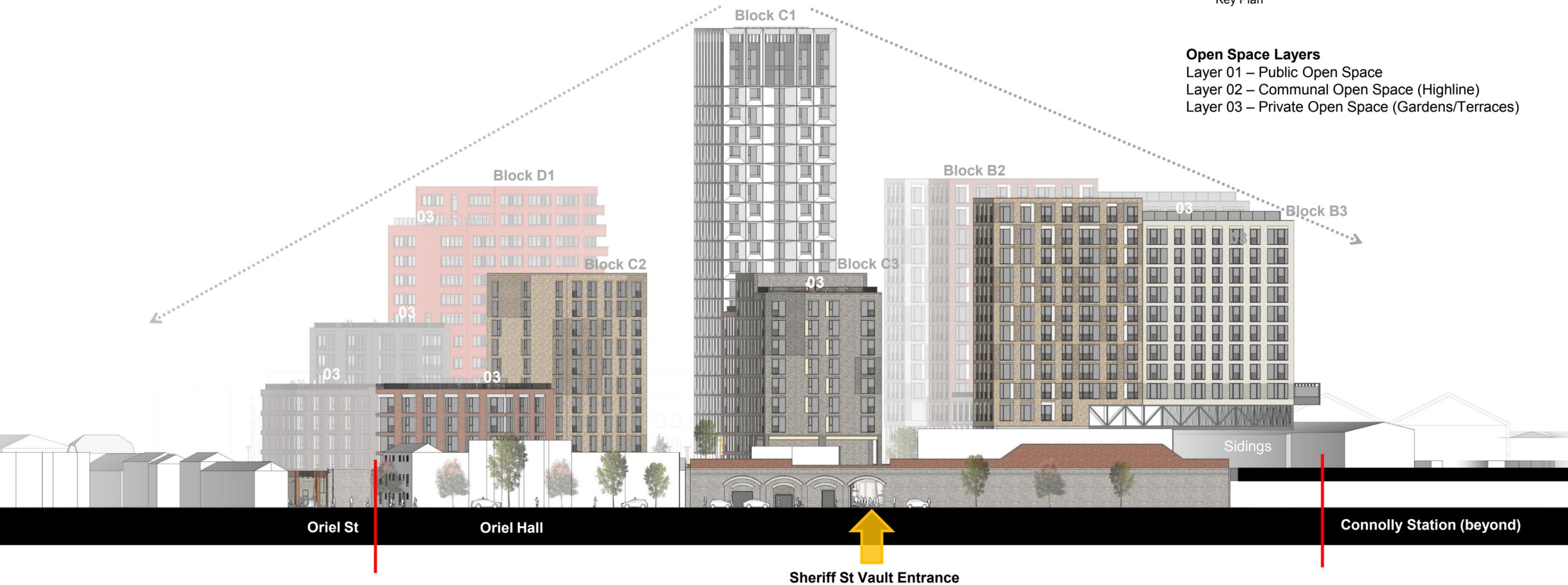
- The residential blocks including B, C and D1 are stepped in height towards the site boundaries in order to avoid an overbearing presence onto bounding streets and neighbourhoods.
- The architecture responds to the unique industrial qualities of the location, and has the capacity to become a distinct place within the city. Facades which face directly towards the city are formed from a rich masonry finish, whilst facades facing onto the new public spaces have a more contemporary and white material finish - a unique response to a unique place.



Key Plan

Open Space Layers

- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)



Architectural Approach

Context Elevation - Connolly Station

Variety, Richness and Articulation

- Block B comprises x3 residential buildings which step down in height towards the Connolly Station boundary, and are separated to allow daylight penetration into elevated private gardens and to the new open street scape beyond. The blocks are elevated above the Connolly Station sidings, and as such are offered panoramic views towards the west of the city and towards the animated railway station below.
- The rich masonry finish to the facades represents the industrial character of the site which meets the city beyond. The façade composition and materiality offer a visual coherence which directly arises from the residential layouts within (form follows function) Brick is offered as the primary façade material whilst the introduction of metal spandrel panels and metal balconies creates a fine grain modulation within the overall composition. x3 brick colours are introduced to the sequence of buildings to create a richness and variety to the overall architectural composition.
- The contemporary white metal façade of Block C1 beyond creates a visual landmark at the heart of the scheme.



Key Plan



Open Space Layers

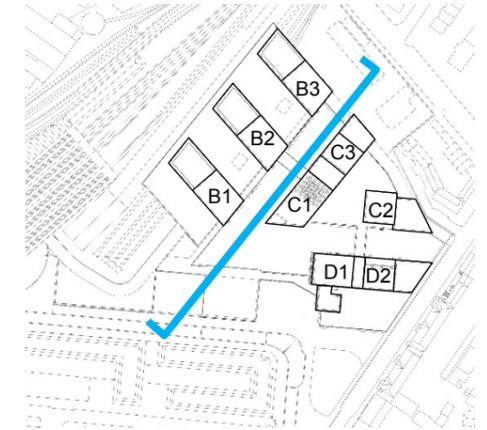
- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)

Architectural Approach

Context Elevation - Internal Street 01

Variety, Richness and Articulation

- Block B comprises x3 residential buildings which step down in height towards the Connolly Station boundary, and are separated to allow daylight penetration into elevated private gardens and to the new open street scape beyond. The block are elevated above the Connolly Station sidings and as such are offered panoramic views towards the west of the city and towards the animated railway station below.
- The contemporary white metal façade of Block C1 beyond creates a visual landmark at the heart of the scheme.
- The rich masonry finish to the facades represents the industrial character of the site which meets the city beyond. The façade composition and materiality offer a visual coherence which directly arises from the residential layouts within (form follows function) Brick is offered as the primary façade material whilst the introduction of metal spandrel panels and metal balconies creates a fine grain modulation within the overall composition. x3 brick colours are introduced to the sequence of buildings to create a richness and variety to the overall architectural composition.



Key Plan

Open Space Layers

- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)

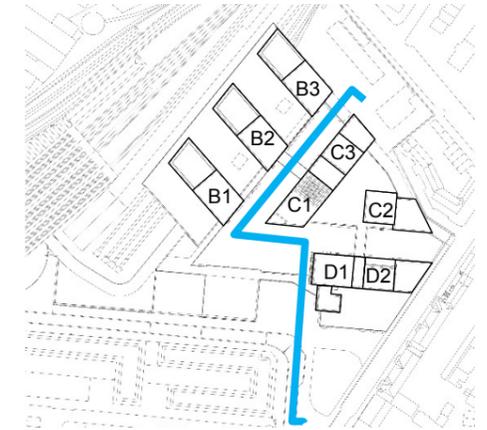


Architectural Approach

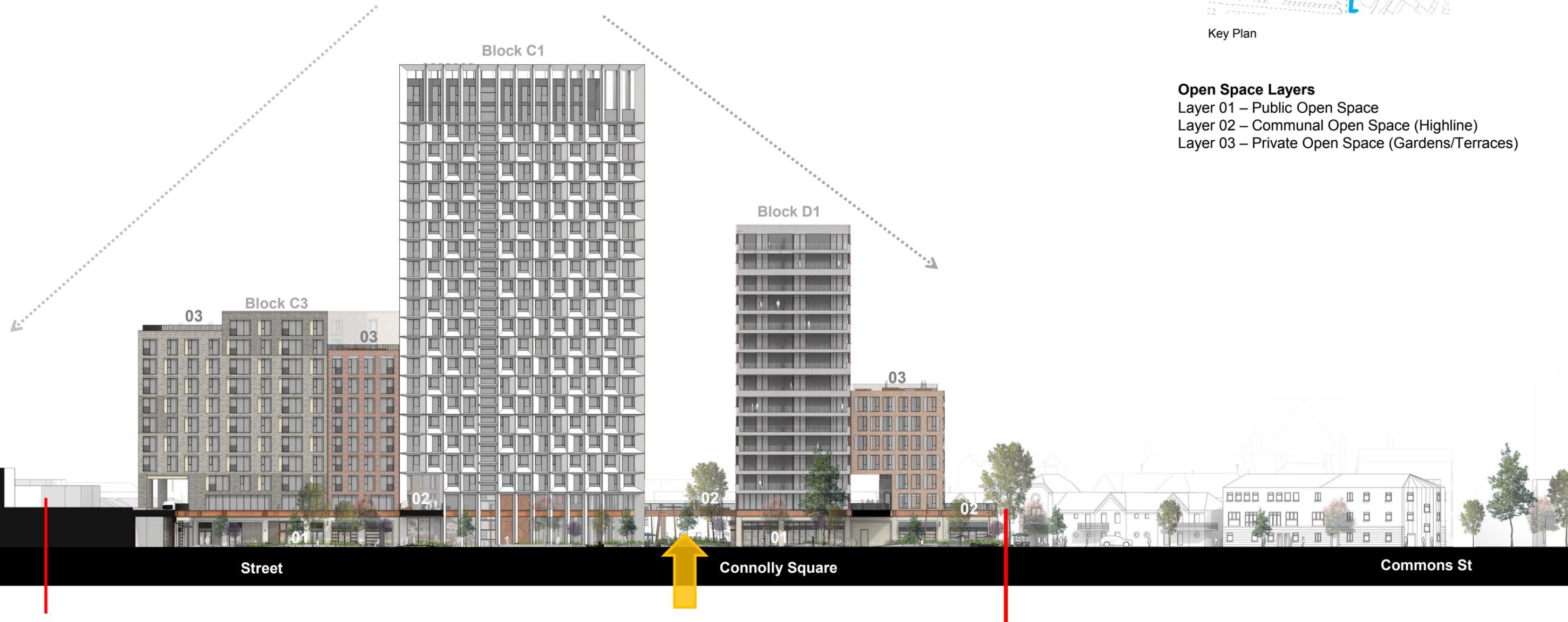
Context Elevation - Internal Street 01

Variety, Richness and Articulation

- Block C comprises x3 distinct residential buildings located above the Highline level and in turn above the new street level. Block C3 steps down to the site boundary and its masonry façade responds to the industrial site character which faces towards the city. The brick facades of Block C3 (Part V Residential) is broken into x2 visually distinct brick colours in order to create visual richness/Variety, and to create an interface to the white materiality of Block C1.
- The white metal façade finish to Block C1 represents the contemporary world within the site and is a visually distinct landmark within the scheme. The central location of this residential block creates an opportunity for additional height.
- Block D1 comprises x2 distinct buildings which face towards Connolly Square. The scale and materiality responds to the human scale of the public, communal and private spaces which connect each of the buildings. As with Block C1, the white façade responds to the contemporary white world within the site.



Key Plan



Open Space Layers

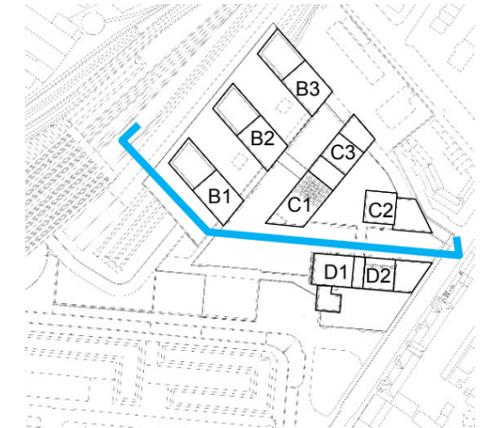
- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)

Architectural Approach

Context Elevation - Internal Street 02

Variety, Richness and Articulation

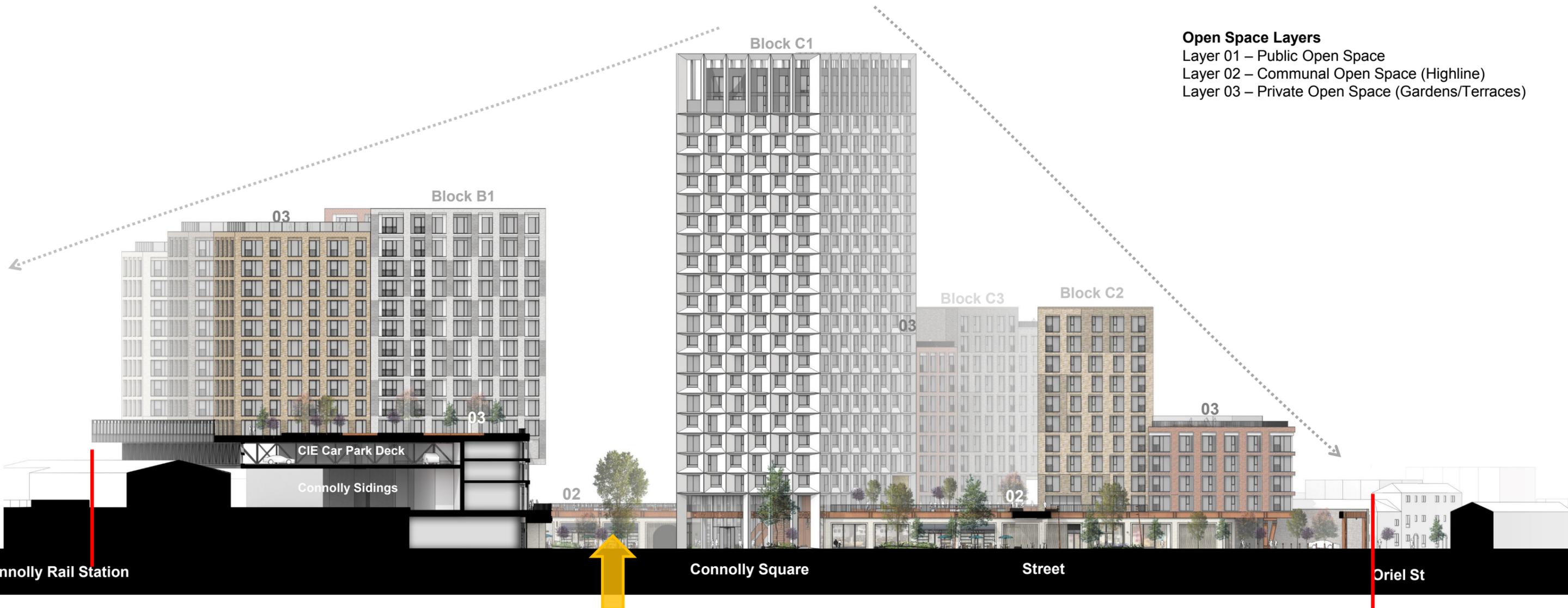
- The x3 Block B residential buildings are elevated above the Connolly Station sidings, and as such are offered panoramic views towards the west of the city and towards the animated railway station below. An interstitial CIE Car Park Deck is located beneath the Block B private gardens and creates a separation between the residential and railway uses.
- The rich masonry finish to the Block B facades represents the industrial character of the site which meets the city beyond. The façade composition and materiality offer a visual coherence which directly arises from the residential layouts within (form follows function) Brick is offered as the primary façade material whilst the introduction of metal spandrel panels and metal balconies creates a fine grain modulation within the overall composition. x3 brick colours are introduced to the sequence of buildings to create a richness and variety to the overall architectural composition.
- Block C comprises x3 distinct residential buildings located above the Highline level and in turn above the new street level. Block C3 steps down to the site boundary and its masonry façade responds to the industrial site character which faces towards the city. The brick facades of Block C3 (Part V Residential) is broken into x2 visually distinct brick colours in order to create visual richness/Variety, and to create an interface to the white materiality of Block C1.
- The white metal façade finish to Block C1 represents the contemporary world within the site and is a visually distinct landmark within the scheme.



Key Plan

Open Space Layers

- Layer 01 – Public Open Space
- Layer 02 – Communal Open Space (Highline)
- Layer 03 – Private Open Space (Gardens/Terraces)



Architectural Approach

Block B Façade Detail



Materiality Concept Image

Layer 01 - Street Base

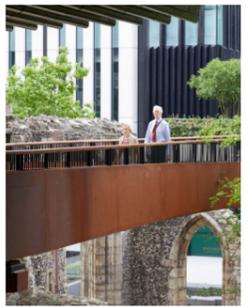
- A grey brick colonnade arrangement which both supports the Highline and contains a predominantly glazed retail/café façade. The colonnade creates a human scale rhythm to facades on each side of new public streets and is a backdrop to new public realm activities.

Layer 02 – Highline/Residential Amenity

- The brick base carries a metal feature Highline beam which visually describes the route of the Highline between each of the blocks. A predominantly glazed/brick façade denotes a ribbon of residential amenity spaces which are clearly visible from the Highline.

Layer 03 – Residential

- A modular brick façade arrangement which provides optimum window sizes to accommodate maximum daylight penetration into the residential units. Brick colours are respond to the rich masonry colours within the broader Connolly neighbourhood. Separate colours create a visual variety/articulation and fragment the overall scale of the block.



Architectural Approach

Block B Façade Detail



CONNOLLY STATION

Aerial View – Façade Materiality & Variety

• Architectural Volumes

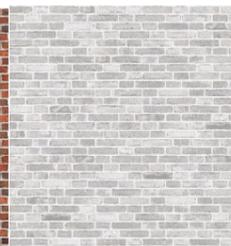
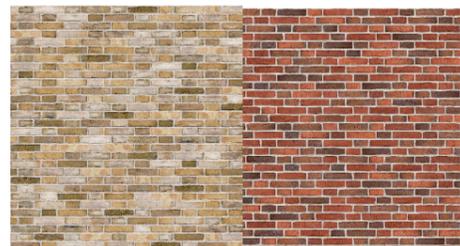
- A strong modular façade design is adopted which responds to the rigour of the internal residential layouts and creates a visual legibility between each of the blocks. Variety and articulation is introduced in the varying use of brick colour and detailed use of metal façade spandrel panels (refer to subsequent sheets within this report chapter)
- Each block is an ‘assembly’ of x2 architectural volumes with differing heights and brick façade materiality. This approach generates a stepped roof profile and offers a visual richness/variety when walking through the new spaces.
- Block B1a faces towards Connolly Square and as such is dressed in white coloured brickwork - *‘white and contemporary world to explore within’*.
- The facades of the rear blocks bounding the private gardens are of light brick colour in order to create a setting for good daylight penetration.



Materiality Concept Image



Design Reference

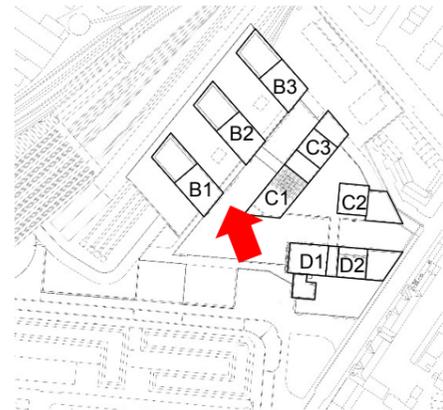


Architectural Approach

Block B Façade Detail

A Sense of Place – View from Connolly Square

- The Highline at Block B creates a linear pedestrian route which overlooks the new public open space below, and creates private access to the ribbon of residential amenities at Highline level.
- Industrial material references are embedded within the layered approach in relation to use, form and materiality creates a visual richness and variety. The careful use of form and material creates a legibility of uses when moving vertically through the buildings.
- The white brick materiality (plain brick and ribbed brick surfaces) of Block B1 celebrates the 'White World Within' concept and overlooks Connolly Square. The varying brick colours within Block B generate variety, richness and respond to the residential human scale.



Key Plan



Design Reference

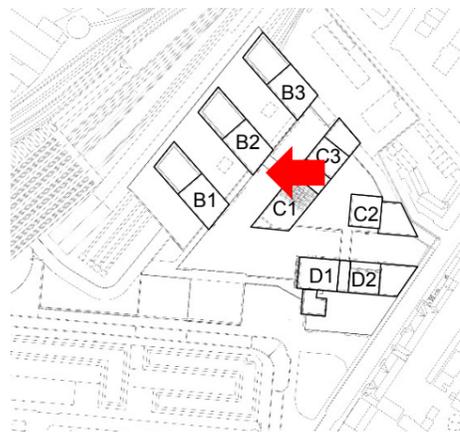


Architectural Approach

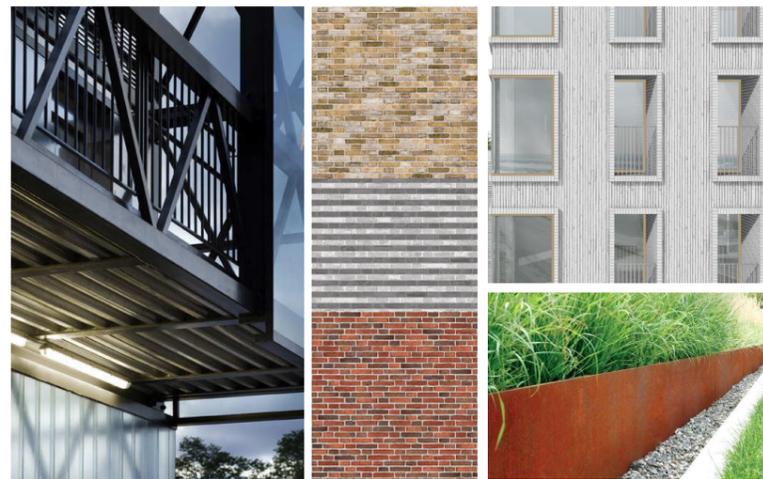
Block B Façade Detail

A Sense of Place – Highline View towards Block B

- The sequence of volumes and façade treatments creates a visually stimulating backdrop to this unique communal open space. The south facing aspect of the gardens illuminates a range of brick and metal façade finishes around this activated amenity space.
- The legible and efficient brick façade grid responds directly to the internal residential layouts whilst the introduction of coloured metal spandrel panels provides a secondary layer of rhythm. Textured brick finishes are introduced to respond to garden level walls and are interspersed at upper levels to create a subtle façade rhythm.



Key Plan



Design Reference

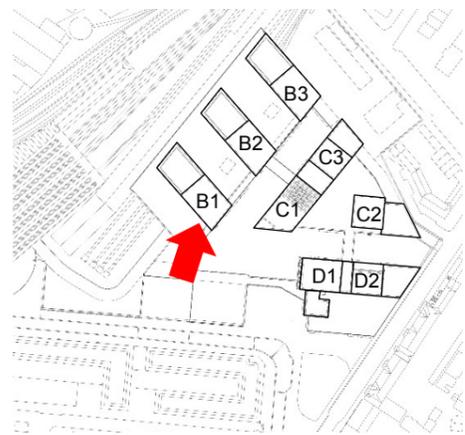


Architectural Approach

Block B Façade Detail

A Sense of Place – Courtyard View towards Block B1

- A strong modular façade design is adopted which responds to the rigour of the internal residential layouts and creates a visual legibility between each of the blocks. Variety and articulation is introduced in the varying use of brick colour, use of differing colour metal façade spandrel panels, and the use of textured brickwork at intermittent locations within the facade (refer to subsequent sheets within this report chapter)
- Each block is an 'assembly' of x2 architectural volumes with differing heights and brick façade materiality. This approach generates a stepped roof profile, and offers a visual richness/variety when walking through the new spaces.
- Block B1a faces towards Connolly Square and as such is dressed in white coloured brickwork .
- The facades of the rear blocks bounding the private gardens are of light brick colour in order to create a setting for good daylight penetration.



Key Plan

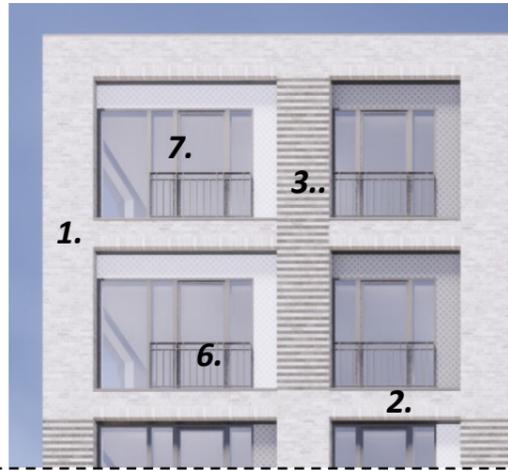


Design Reference



Architectural Approach

Block B1 – Façade Variety & Articulation
 South Elevation (facing Connolly Square)



03 - RESIDENTIAL

02 - HIGHLINE

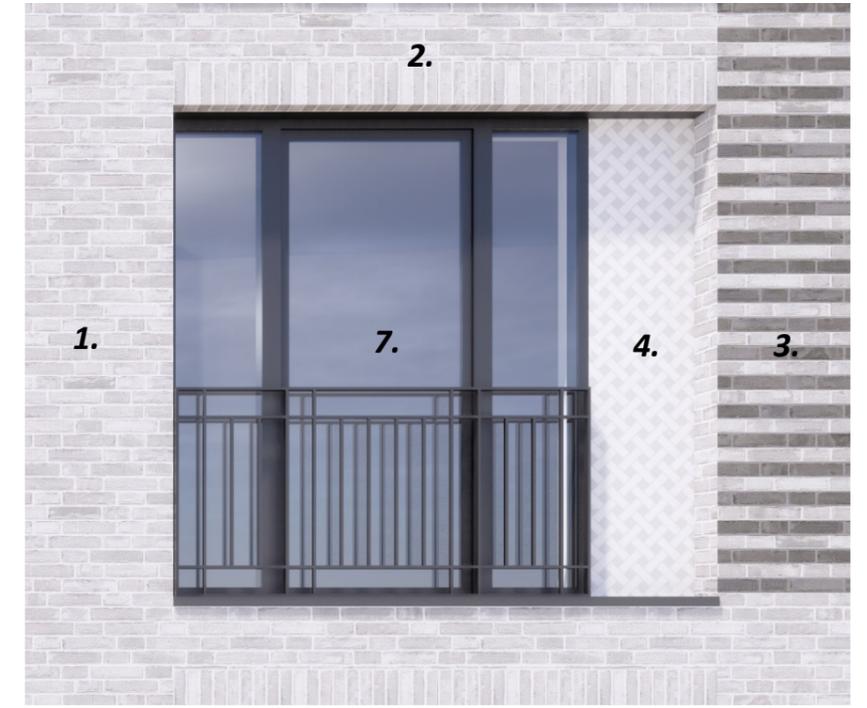
HIGHLINE

01 - BASE

STREET LEVEL



TYPICAL BLOCK B1 WINDOW BAY DETAIL

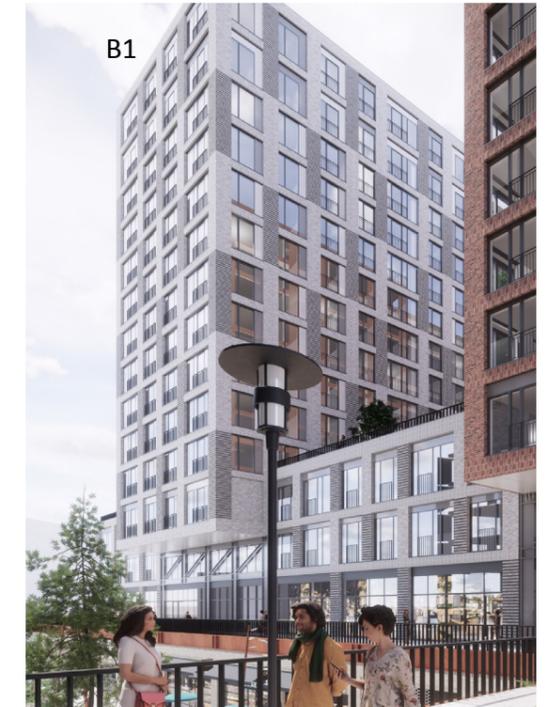


BLOCK B1 WINDOW DETAIL

Reference Images

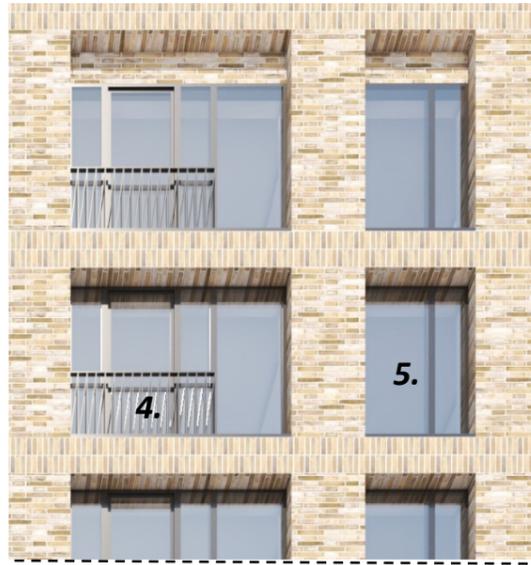


- 1 – Light Grey Brickwork
- 2 – Light Grey Brickwork Soldier Course
- 3 – Light Grey Ribbed Brickwork
- 4 – Light Grey Metal Filigree Panel
- 5 – Dark Grey Metal Filigree Panel
- 6 – Balustrade, dark grey
- 7 – Glazed window, dark grey aluminium frame
- 8 – Metal truss façade feature



Architectural Approach

Block B1 – Façade Variety & Articulation
 North West Elevation (facing Connolly Square)



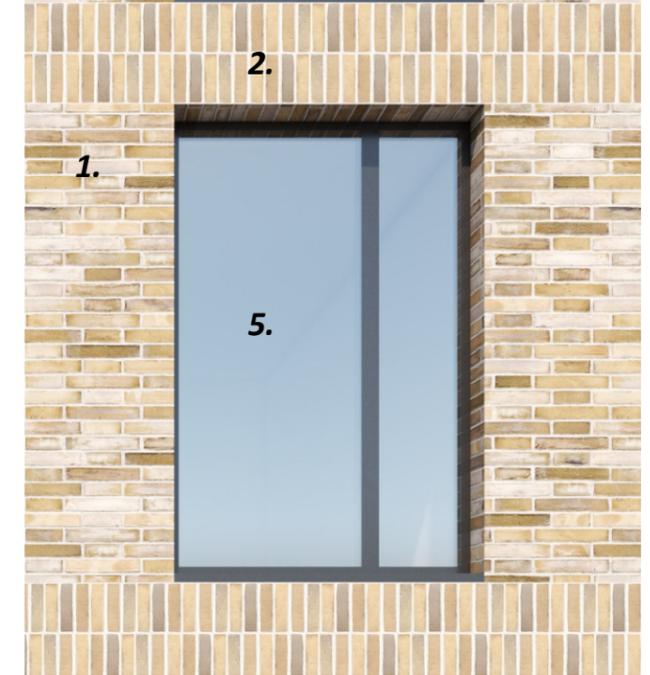
02 - RESIDENTIAL

01 - BASE

GARDEN LEVEL



TYPICAL WINDOW BAY DETAIL



WINDOW DETAIL

Reference Images



1.

3.

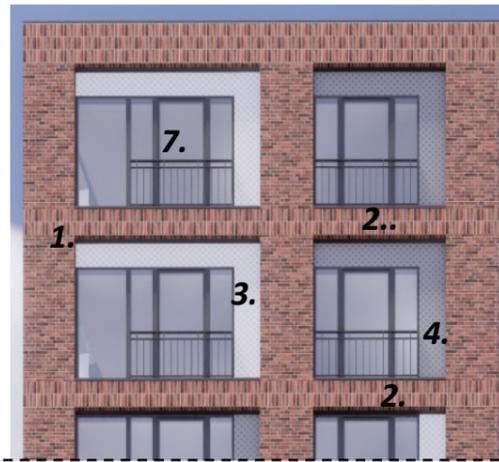
4.

- 1 – Buff Brickwork
- 2 – Buff Brickwork Soldier Course
- 3 – Buff, Ribbed Brickwork
- 4 – Balustrade, dark grey
- 5 – Glazed window, dark grey aluminium frame

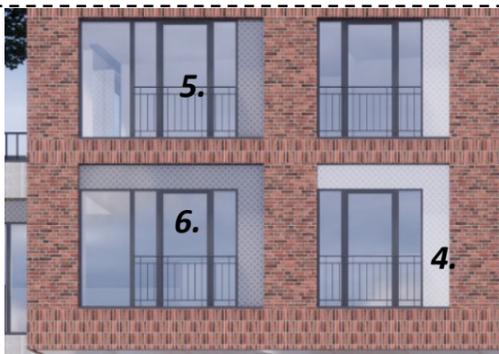


Architectural Approach

Block B2 – Façade Variety & Articulation
South Elevation



03 - RESIDENTIAL



02 - HIGHLINE



HIGHLINE

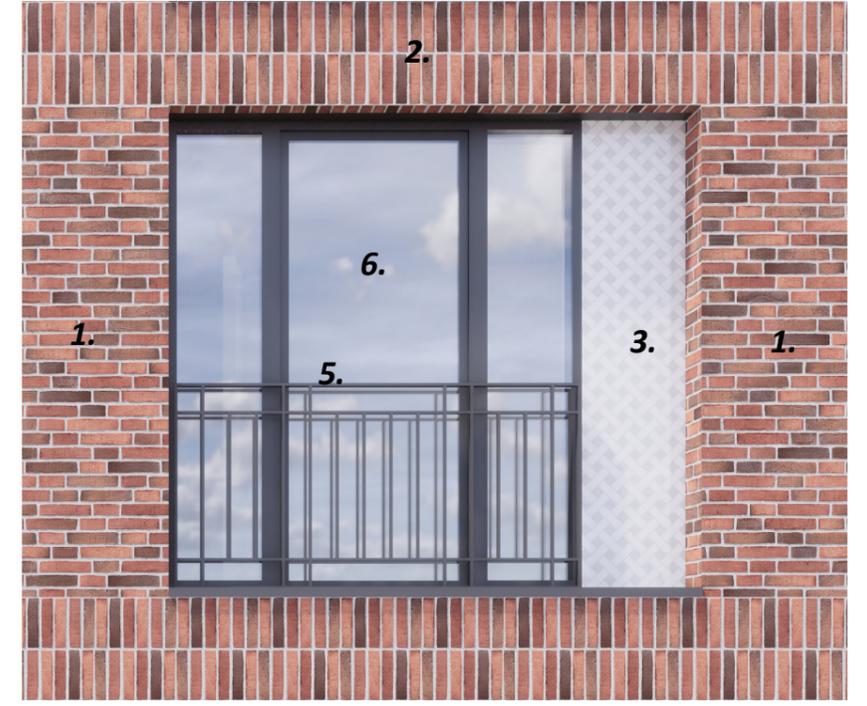


01 - BASE

STREET LEVEL

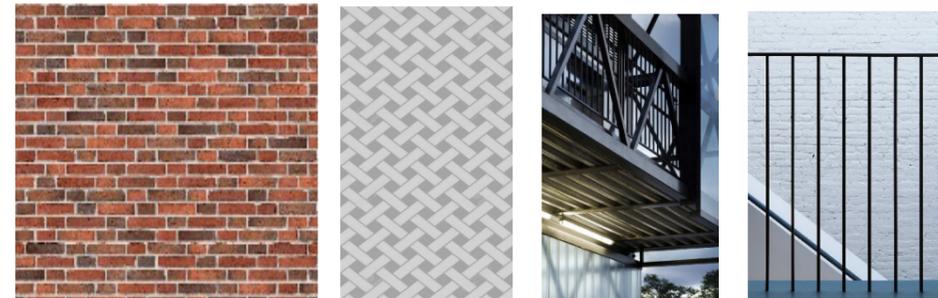


TYPICAL BLOCK B1 WINDOW BAY DETAIL

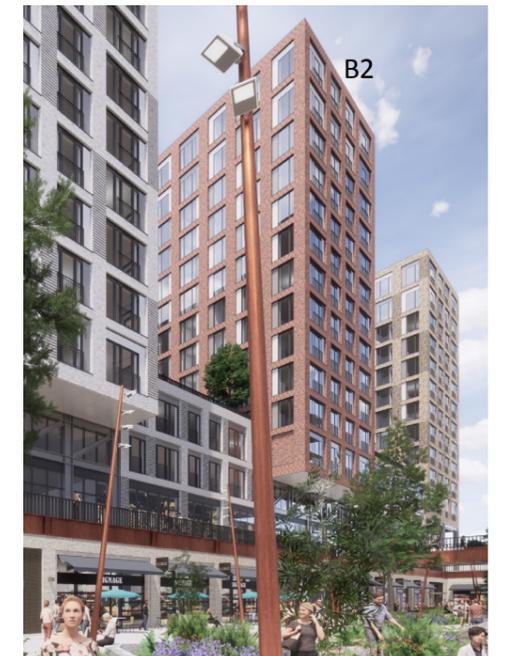


BLOCK B1 WINDOW DETAIL

Reference Images

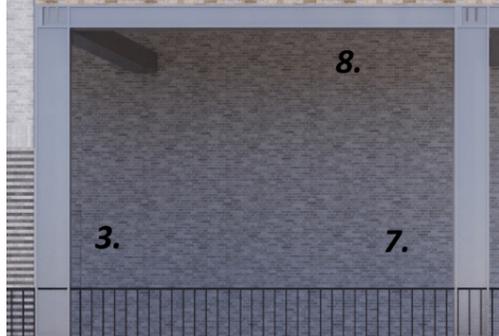


- 1 – Red colour brickwork
- 2 – Red colour brickwork soldier course
- 3 – Light Grey Metal Filigree Panel
- 4 – Dark Grey Metal Filigree Panel
- 5 – Balustrade, dark grey
- 6 – Glazed window, dark grey aluminium frame
- 7 – PC metal truss façade feature



Architectural Approach

Block B3 – Façade Variety & Articulation
 South Elevation



03 - RESIDENTIAL

02 - HIGHLINE

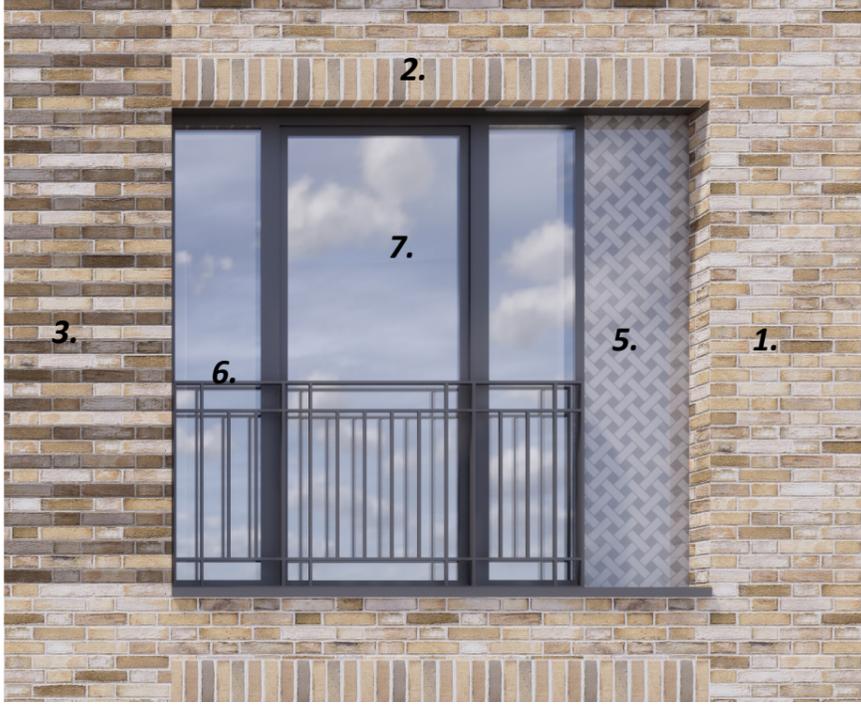
HIGHLINE

01 - BASE

STREET LEVEL

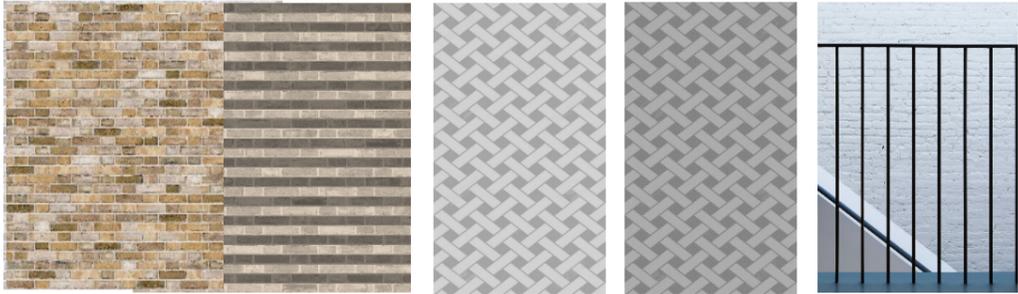


TYPICAL BLOCK B1 WINDOW BAY DETAIL



BLOCK B1 WINDOW DETAIL

Reference Images



- 1 – Beige colour brickwork
- 2 – Beige colour brickwork soldier course
- 3 – Beige colour Ribbed Brickwork
- 4 – Light Grey Metal Filigree Panel
- 5 – Dark Grey Metal Filigree Panel
- 6 – Balustrade, dark grey
- 7 – Glazed window, dark grey aluminium frame



Architectural Approach

Block C – Façade Detail

Composition & Materiality

Visual Hierarchy

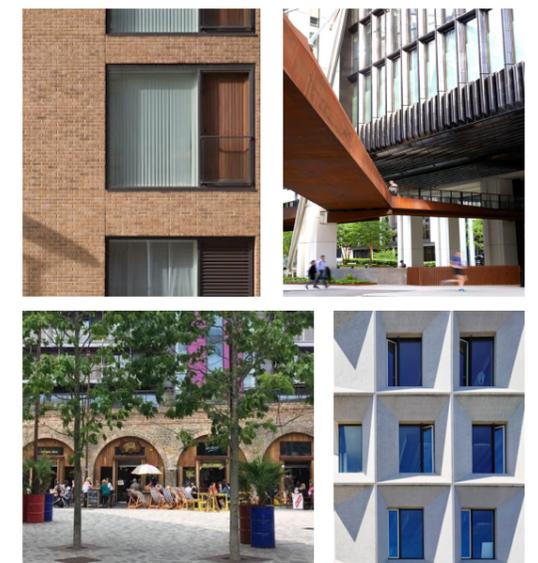
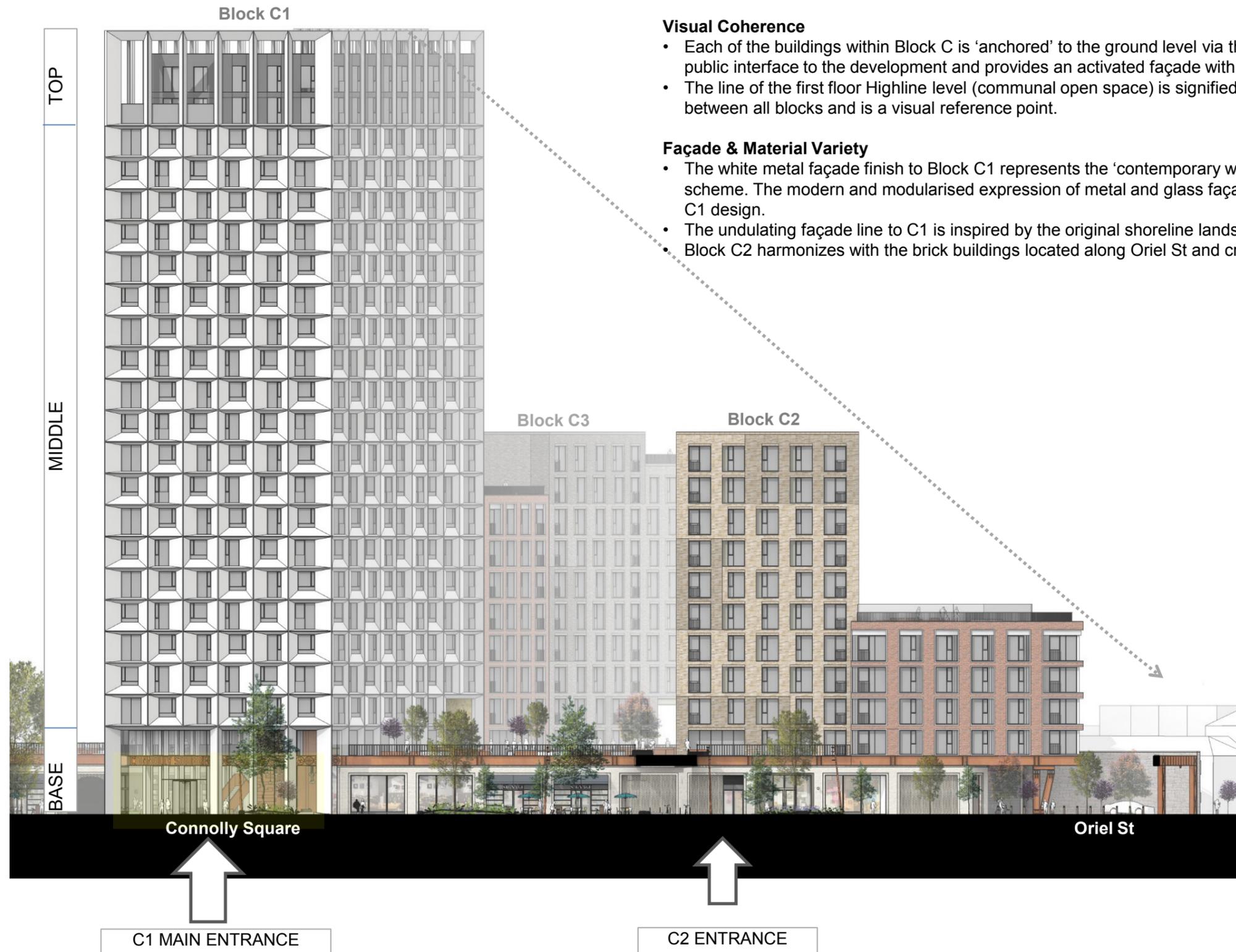
- Block C is characterised by the hierarchy of building heights and volumes. The central site location of Block C1 creates an opportunity for height and to create a visual landmark within the new City Quarter. Block C2 steps down in height towards the Oriel St boundary and the brick façade treatment responds to the brick materiality of existing residential properties along that street.

Visual Coherence

- Each of the buildings within Block C is 'anchored' to the ground level via the continuous base façade treatment. The base represents the public interface to the development and provides an activated façade with retail glazing set within an articulated brick arch arrangement.
- The line of the first floor Highline level (communal open space) is signified by the steel beam edge detail which continues at this level between all blocks and is a visual reference point.

Façade & Material Variety

- The white metal façade finish to Block C1 represents the 'contemporary world within' the site and is a visually distinct landmark within the scheme. The modern and modularised expression of metal and glass façade finishes reinforces the contemporary approach to the Block C1 design.
- The undulating façade line to C1 is inspired by the original shoreline landscape and is a modern evocation of the unique site history.
- Block C2 harmonizes with the brick buildings located along Oriel St and creates an interesting juxtaposition to the architecture of C1.

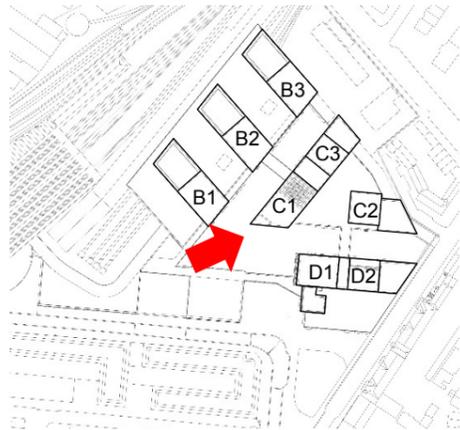


Architectural Approach

Block C – Façade Detail

A Sense of Place – View towards Block C from Connolly Square

- Block C1 marks the 'heart' of Connolly Quarter, and is a visual landmark when approaching from afar or from within the scheme. Visitors and residents are drawn towards the dramatic double height glazed base of C1 and are then directed to the formal entrance/concierge facilities and up to the Highline communal open space level. The white metal façade finish to Block C1 represents the 'contemporary world within' the site and is a visually distinct landmark within the scheme. The modern and modularised expression of metal and glass façade finishes reinforces the contemporary approach to the Block C1 design. The undulating façade line to C1 is inspired by the original shoreline landscape and is referenced in the proposed landscape design.
- The line of the first floor Highline level (communal open space) is signified by the steel beam edge detail which continues at this level between all blocks and is a visual reference point.



Key Plan



Design Reference

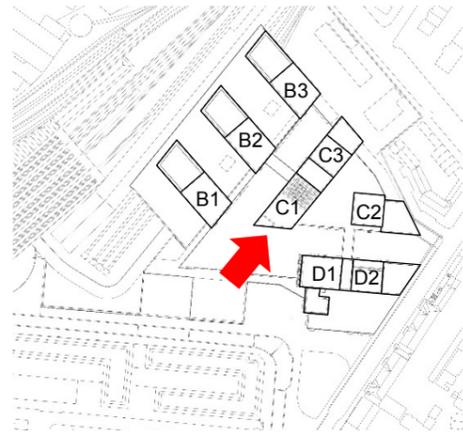


Architectural Approach

Block C – Façade Detail

A Sense of Place – Block C1 Main Entrance

- Visitors and residents are drawn towards the dramatic triple height glazed base of C1 and are then directed to the formal entrance/concierge facilities and up to the Highline communal open space level. The white metal façade finish to Block C1 represents the 'contemporary world within' the site and is a visually distinct landmark within the scheme. The modern and modularised expression of metal and glass façade finishes reinforces the contemporary approach to the Block C1 design. The undulating façade line to C1 is inspired by the original shoreline landscape and is referenced in the proposed landscape design.
- The line of the first floor Highline level (communal open space) is signified by the steel beam edge detail which continues at this level between all blocks and is a visual reference point.



Key Plan



Design Reference

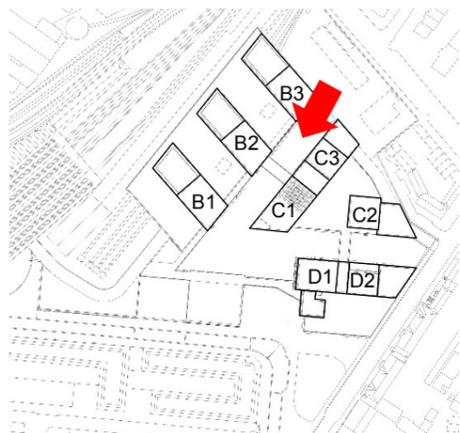


Architectural Approach

Block C – Façade Detail

A Sense of Place – Street View towards Connolly Square

- A sequence of varied façade materials creates a rich and ‘unfolding architectural story’ within Block C. The eye is led from building to building and with the white form C1 creating a visual landmark at the corner of Connolly Square.
- The facades are designed with materials of the highest quality in mind. Whilst there is an inherent legibility of approach between each building, the assembly of materials differs from building to building to create a subtle richness to the overall approach.
- The Highline bridge creates an animated pedestrian route which overlooks the new public open space below, and creates private access to the ribbon of residential amenities at Highline level. Industrial material references are embedded within the Highline design. The ‘Corten’ metal Highline Beam creates a continuous visual reference between blocks and is a fixing point for industrial metal railings which park the edge of the Highline.
- The Highline bridge defines a landscaped space beneath for visitors to gain shelter during inclement weather. The underside of the bridge shall be clad in perforated metal panels (industrial reference) and shall accommodate concealed lighting within the bridge section.



Key Plan



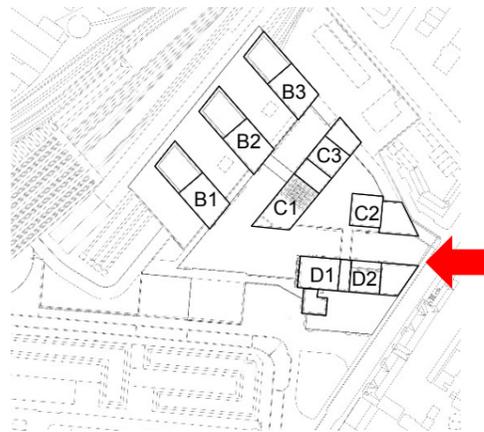
Design Reference

Architectural Approach

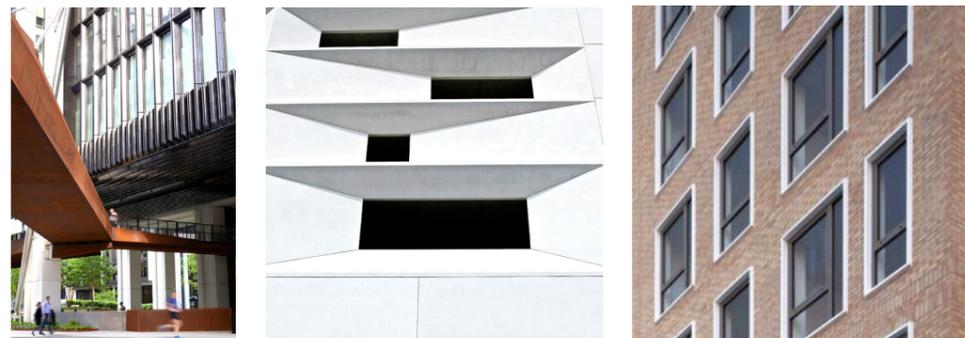
Block C – Façade Detail

A Sense of Place – View from the Oriel Street Entrance

- A new opening is created within the Oriel St wall to offer full connectivity to/from the site. The unique industrial site character is referenced and preserved within the architectural form and materiality of the steel 'portal' and this demarks the separate pedestrian and vehicle access points from Oriel St. The steel entrance portal is at the same level as the Highline beam and therefore reinforces the horizontal layer within the site.
- Block C cascades down in height towards the Oriel St boundary and as such is sensitive to neighbouring properties. The sequence of block heights and varying façade materiality's leads to a the C1 visual landmark. Block C2 steps down in height towards the Oriel St boundary and the brick façade treatment responds to the brick materiality of existing residential properties along Oriel St.



Key Plan



Design Reference

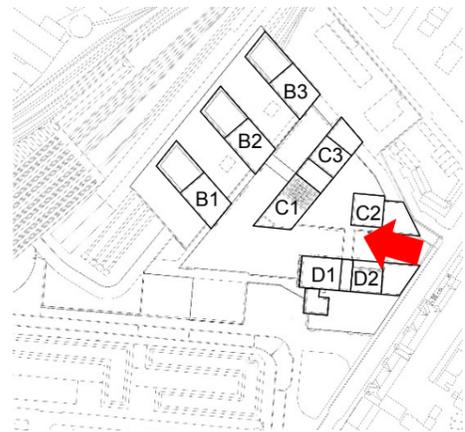


Architectural Approach

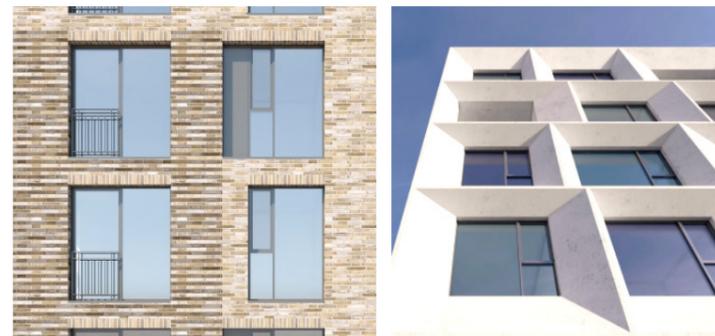
Block C – Façade Detail

A Sense of Place – Street View towards Connolly Square

- A sequence of varied façade materials creates a rich and 'unfolding architectural story' within Block C. The eye is led from building to building and with the white form C1 creating a visual landmark at the corner of Connolly Square.
- The Block C2 facades are modular and rational in terms of composition. The brick materiality offers a softness and human scale when viewed from the street. A secondary layer of metal panels are arranged within the brick façade openings to create a detailed and modulating façade rhythm.
- The Highline bridge creates an animated pedestrian route which overlooks the new public open space below, and creates private access to the ribbon of residential amenities at Highline level. Industrial material references are embedded within the Highline design. The metal Highline Beam creates a continuous visual reference between blocks and is a fixing point for industrial metal railings which park the edge of the Highline.



Key Plan



Design Reference

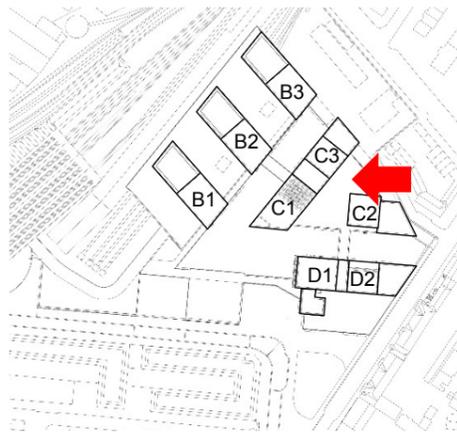


Architectural Approach

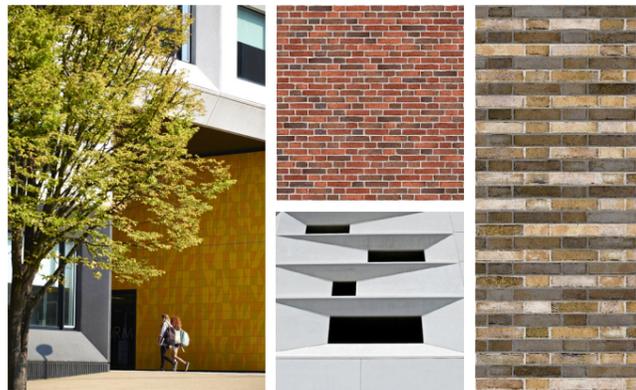
Block C – Façade Detail

A Sense of Place – View towards Blocks C1 & C3 from the Highline

- The sequence of volumes and façade treatments creates a visually stimulating backdrop to this unique communal open space. The south facing aspect of the gardens illuminates a range of brick and metal façade finishes around this activated amenity space.
- The legible and efficient brick façade grid responds directly to the internal residential layouts whilst the introduction of coloured metal spandrel panels offers a secondary layer of rhythm. Textured brick finishes are introduced to respond to garden level walls and are interspersed at upper levels to create a subtle façade rhythm.



Key Plan



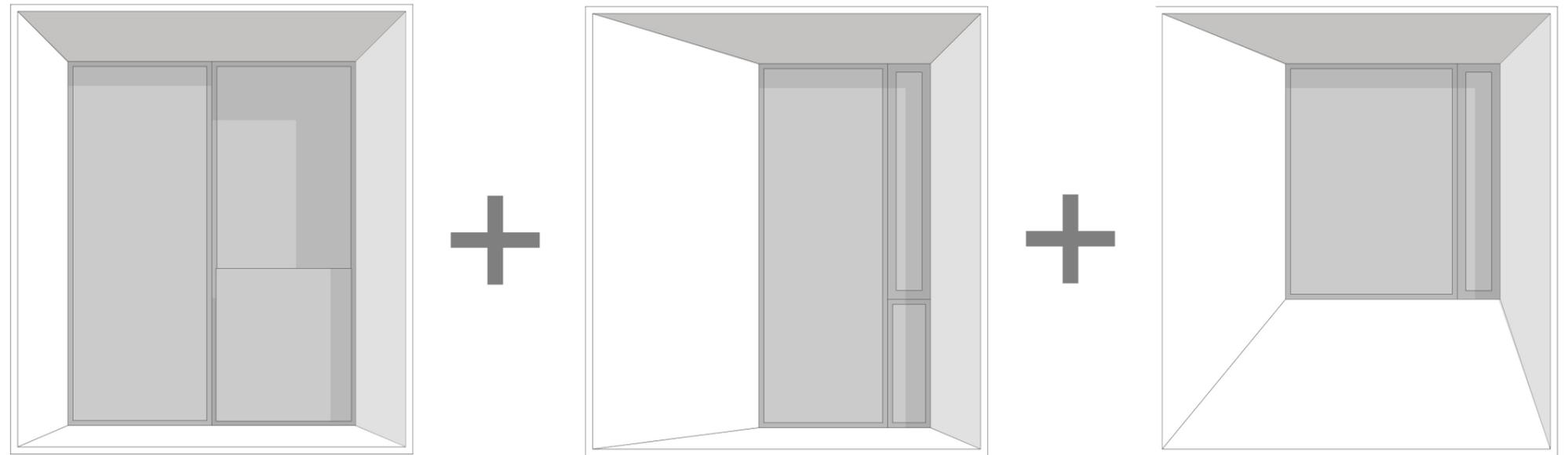
Design Reference

Architectural Approach

C1 - Façade Detail



C1 Tower

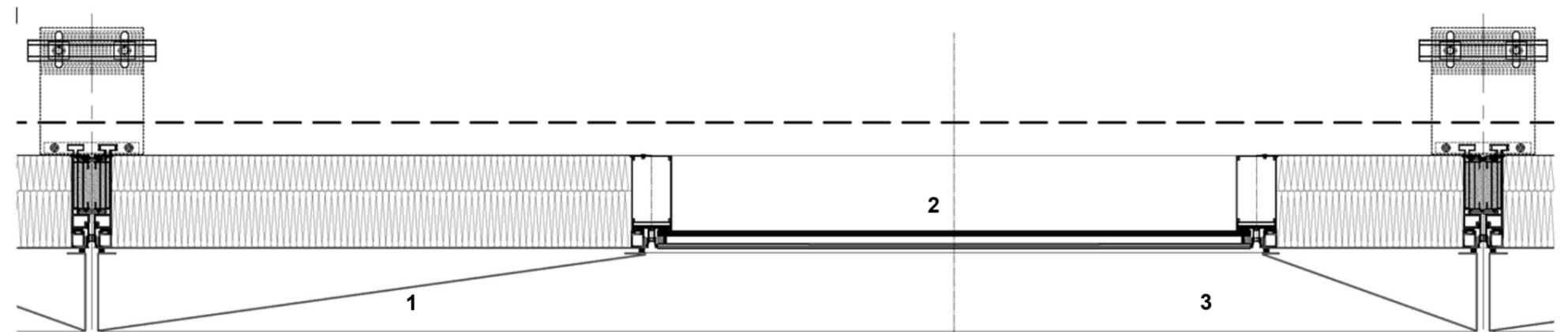


Type 1

Type 2

Type 3

Façade panels – standard dimension + varying window openings.

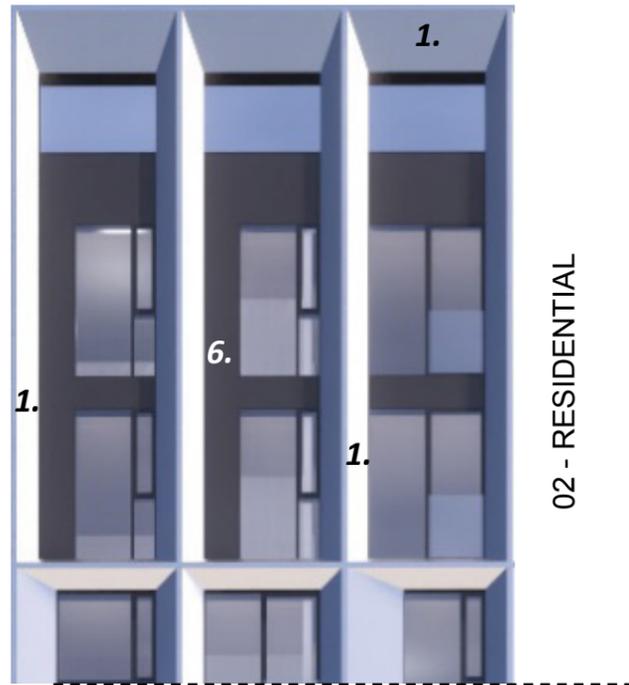


Façade – plan detail

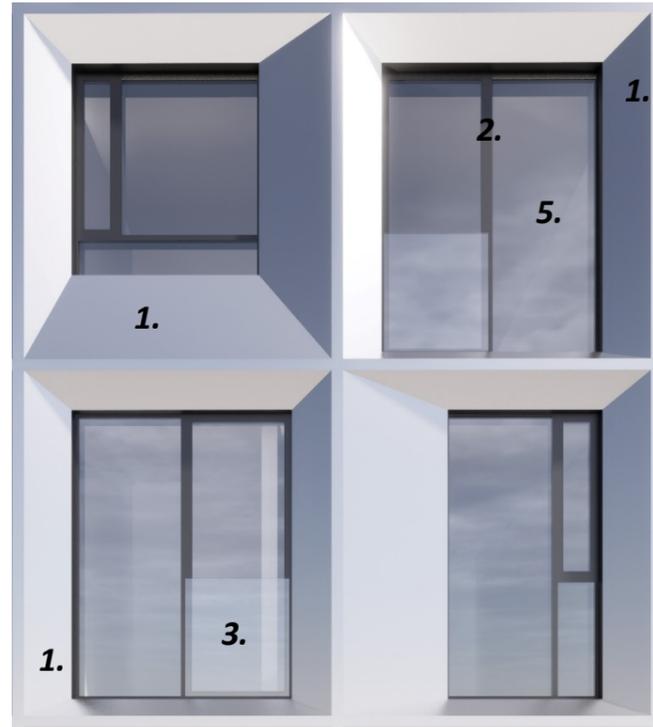
1. Angled metal cladding panels
2. Metal frame windows + integrated glazed balustrade
3. Inclined metal panel below the window

Architectural Approach

Block C1 – Façade Variety & Articulation



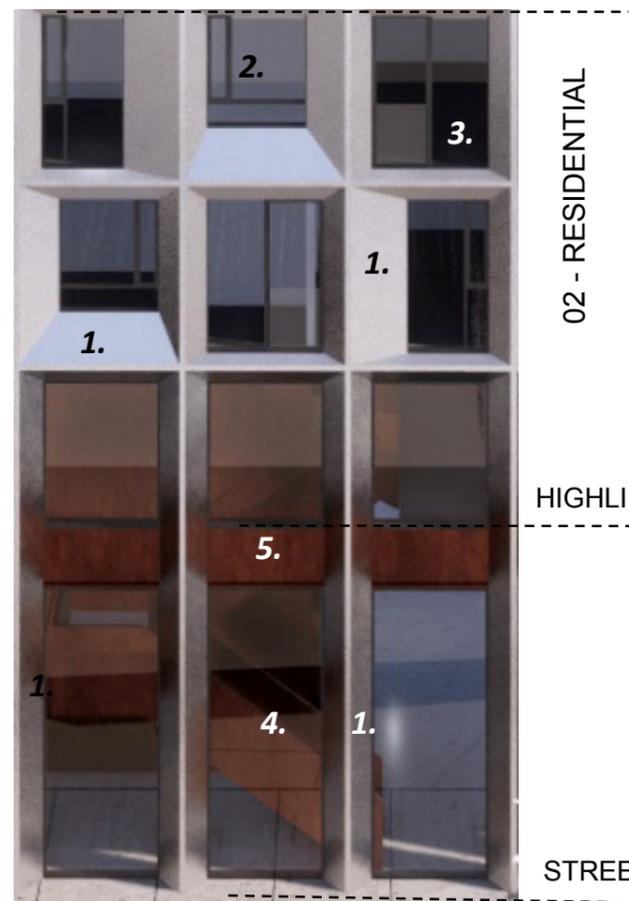
02 - RESIDENTIAL



TYPICAL BLOCK C1 WINDOW BAY DETAIL



BLOCK C1 ENTRANCE



02 - RESIDENTIAL

HIGHLINE

STREET LEVEL

Reference Images

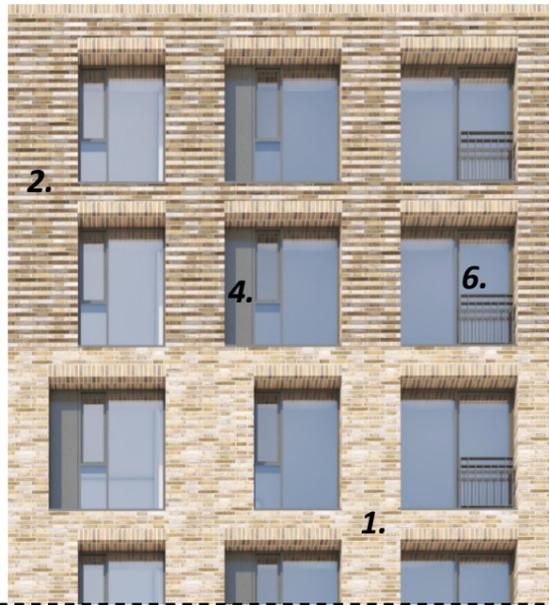


- 1 – White aluminium cladding (angled towards the line of the glazing)
- 2 – Glazed window, dark grey aluminium frame
- 3 – Glazed Balustrade
- 4 – Curtain Wall Glazing
- 5 – Metal finish (Highline Beam)
- 6 – Glazed spandrel panel (grey colour)



Architectural Approach

Block C2 – Façade Variety & Articulation
 Façade facing towards Connolly Square



02 - RESIDENTIAL



HIGHLINE

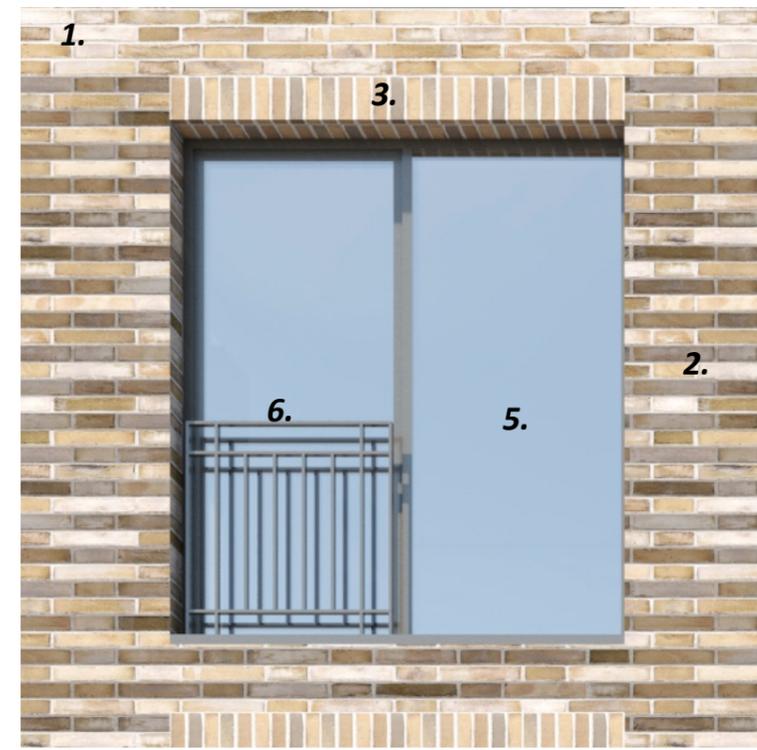
01 - BASE



STREET LEVEL



TYPICAL WINDOW BAY DETAIL



TYPICAL WINDOW DETAIL

Reference Images

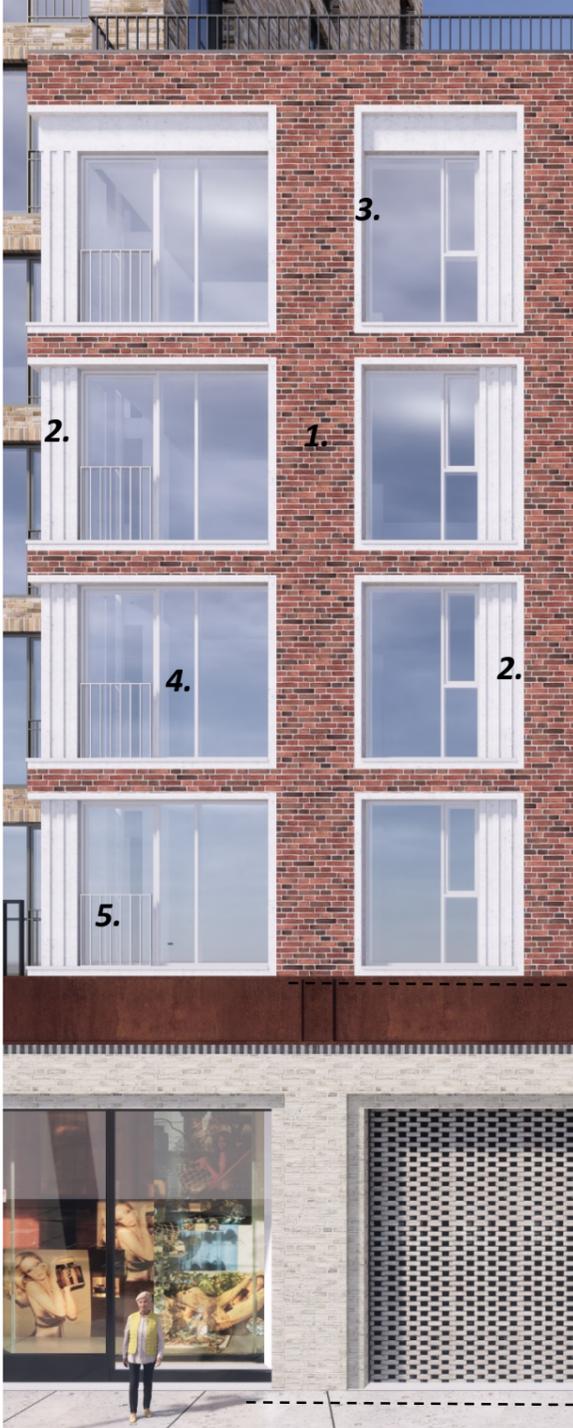


- 1 – Buff Brickwork
- 2 – Buff, Ribbed Brickwork
- 3 – Brickwork Header Course
- 4 – Dark grey Anodised Metal Panel
- 5 – Glazed window, dark grey aluminium frame
- 6 – Balustrade, dark grey



Architectural Approach

Block C2 – Façade Variety & Articulation
 Façade facing towards Connolly Square



02 - RESIDENTIAL

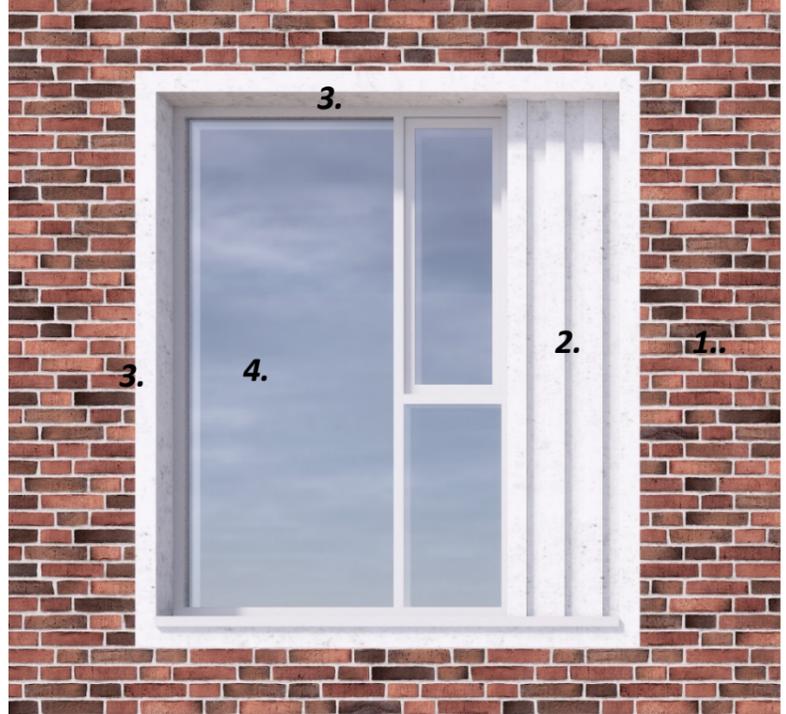
HIGHLINE

01 - BASE

STREET LEVEL



TYPICAL WINDOW BAY DETAIL

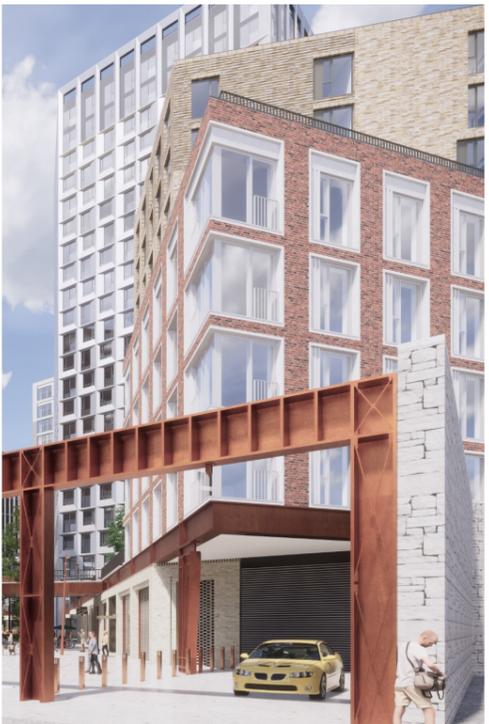


TYPICAL WINDOW DETAIL



Reference Images

- 1 – Red Brickwork
- 2 – Grey, Ribbed Metal Panel
- 3 – Light Grey Metal Reveal
- 4 – Glazed Window, light grey aluminium
- 5 – Balustrade, light grey



Architectural Approach

Block C3 – Façade Variety & Articulation

Façade facing towards Seville Place Connection



TYPICAL WINDOW BAY DETAIL



TYPICAL WINDOW DETAIL



02 - RESIDENTIAL



01 - BASE

HIGHLINE

STREET LEVEL

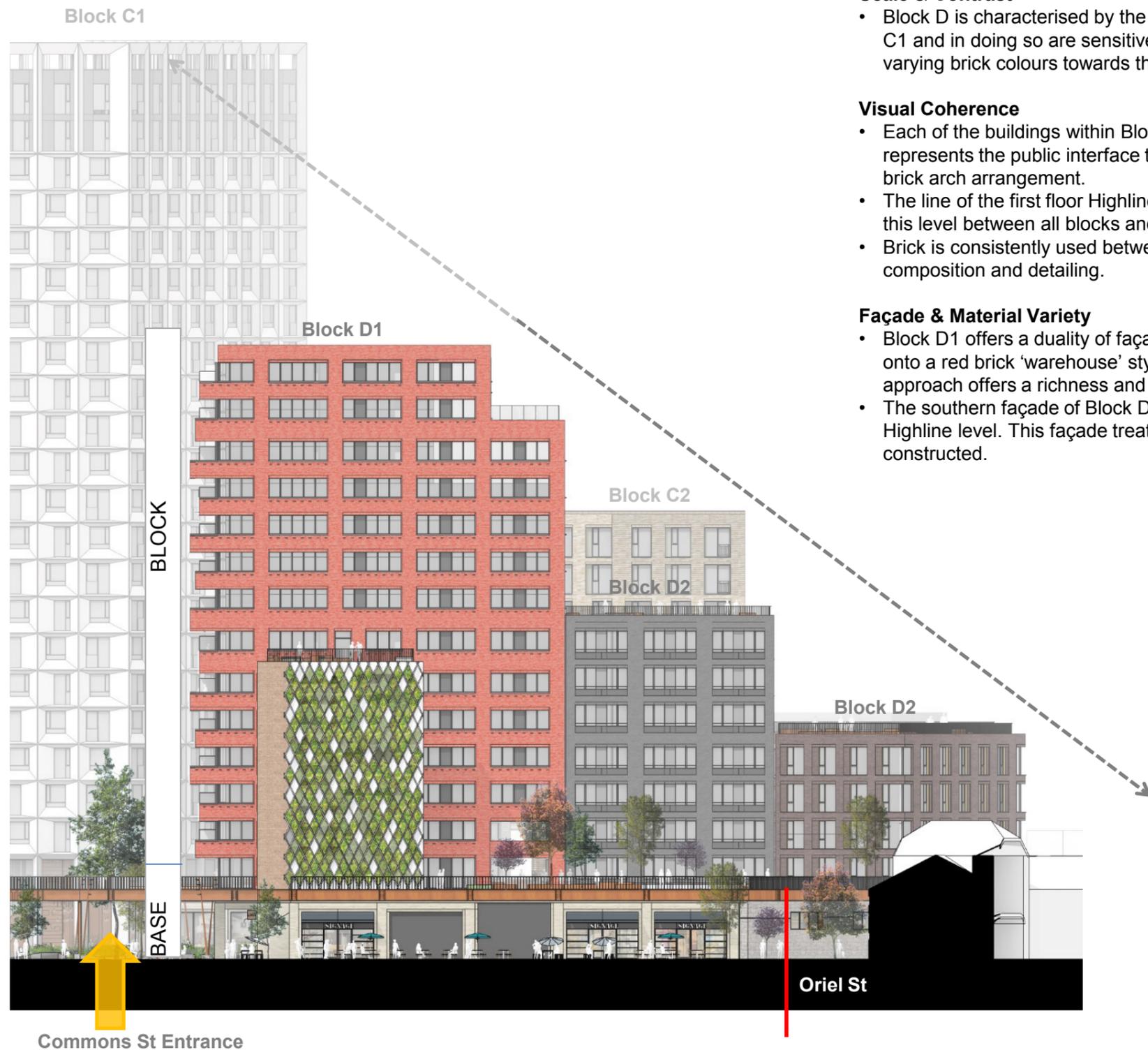


- 1 – Grey Brickwork
- 2 – Grey, Ribbed Brickwork
- 3 – Brickwork Head Course
- 4 – Metal Panel (cream colour)
- 5 – Metal frame glazing (cream colour frame)
- 6 – Metal balustrade (cream colour)



Architectural Approach

Block D – Façade Detail Composition & Materiality



Scale & Contrast

- Block D is characterised by the hierarchy of building heights and volumes. Blocks cascade in height outwards from Block C1 and in doing so are sensitive to varying existing site boundary conditions. The volumetric cascade reinforced by using varying brick colours towards the Oriel St boundary

Visual Coherence

- Each of the buildings within Block D is 'anchored' to the ground level via the continuous base façade treatment. The base represents the public interface to the development and offers an activated façade with retail glazing set within an articulated brick arch arrangement.
- The line of the first floor Highline level (communal open space) is signified by the steel beam edge detail which continues at this level between all blocks and is a visual reference point.
- Brick is consistently used between blocks to create a visually coherent approach but with subtle variety within the composition and detailing.

Façade & Material Variety

- Block D1 offers a duality of façade approach with the white horizontality of the façade facing onto Connolly Square returning onto a red brick 'warehouse' style architecture facing onto the new internal street. This duality of façade and architectural approach offers a richness and variety to the new urban setting.
- The southern façade of Block D1 has a green wall treatment and rises up from the landscaped residential garden space at Highline level. This façade treatment is intended as 'temporary' and shall be removed in the event of Block D3 (Hotel) being constructed.

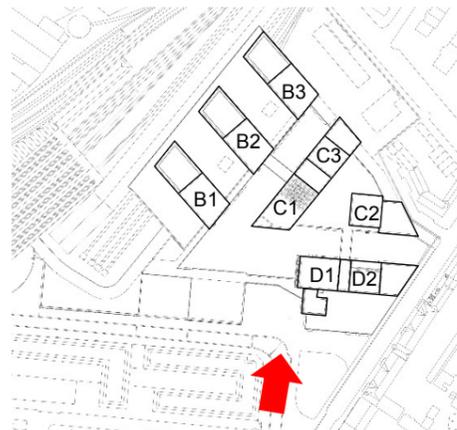


Architectural Approach

Block D – Façade Detail

A Sense of Place – Block D1 View from Commons Street

- The cascading sequence of volumes and façade treatments creates a visually stimulating building which is located at a key site entrance point. The sequence of vivid brick colours creates a visual richness and variety and responds to the human/residential scale of the scheme.
- The façade colours, materiality and forms are playful in approach and are intended to create a visual destination.
- The southern façade of Block D1 has a green wall treatment and rises up from the landscaped residential garden space at Highline level. This façade treatment is intended as ‘temporary’ and shall be removed in the event of Block D3 (Hotel) being constructed.
- The highline beam defines the building base level and the residential amenity at Highline level itself. This industrial reference connects each of the new buildings and forms a bridge gateway feature at the entrance from Commons Street.



Key Plan



FOR INFORMATION ONLY
Future inclusion of Block D3 as described in the Masterplan Design Statement



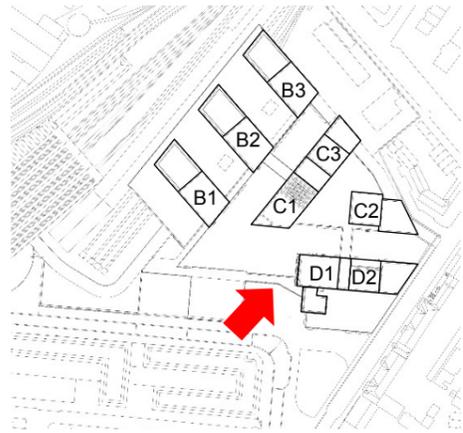
Note: The green wall treatment to the south façade of Block D1 is in anticipation of the delivery of the Block D3 Hotel (separate planning submission)

Architectural Approach

Block D – Façade Detail

A Sense of Place – Commons Street Entrance

- The façade colours, materiality and forms are playful in approach and are intended to create a visual destination.
- The Highline beam connects and frames the pedestrian routes at first floor level and frames the new entrance from Commons Street. Perforated metal panels are hung from the underside of the Highline bridge with exposed 'corten' ribs creating a directional pattern to pedestrians below. Concealed lighting above the panels creates a unique illuminated space beneath during evening times.



Key Plan



Design Reference

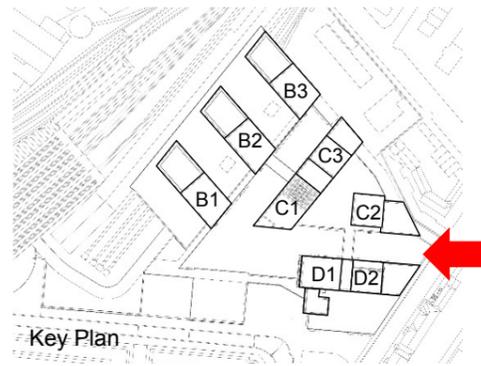


Architectural Approach

Block D – Façade Detail

A Sense of Place – Block D View from Oriel Street

- A new opening is created within the Oriel St wall to offer full connectivity to/from the site. The unique industrial site character is referenced and preserved within the architectural form and materiality of the steel portal and this demarks the separate pedestrian and vehicle access points from Oriel St. The steel entrance portal is at the same level as the Highline beam and therefore reinforces the horizontal layer within the site.
- Block D1/D2 cascades down in height towards the Oriel St boundary and as such is sensitive to neighbouring properties. The consistent use of brick offers visual consistency/legibility and is sensitive to the existing brick facades along Oriel St. The blocks are broken down in height and colour with differing brick colours and façade detailing creating visual variety and responding to the residential scale.
- The retained stone wall along Oriel St establishes a base height which return into the new streetscape. The highline beam defines the building base level and the residential amenity at Highline level itself.



FOR INFORMATION ONLY
Future inclusion of Block D3 as described in the Masterplan Design Statement

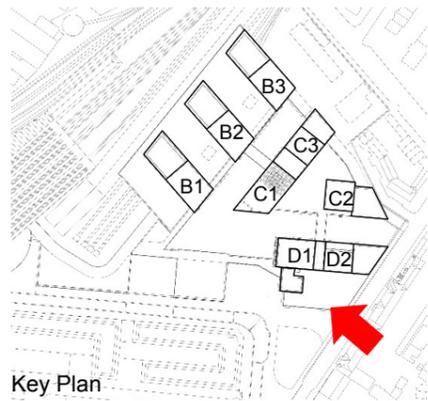


Architectural Approach

Block D – Façade Detail

A Sense of Place – Block D View from Oriel Street

- The blocks are set back from the Oriel St boundary in order to respect existing building heights along the street. The cascading sequence of volumes and façade treatments creates a visually stimulating building which is located at a key site entrance point. The sequence of vivid brick colours creates a visually rich and playful response to the urban setting.
- The first floor Highline level extends onto south facing private residential gardens which overlook Oriel St and create residential relationship with the street.
- The southern façade of Block D1 has a green wall treatment and rises up from the landscaped residential garden space at Highline level. This façade treatment is intended as 'temporary' and shall be removed in the event of Block D3 (Hotel) being constructed.



FOR INFORMATION ONLY
Future inclusion of Block D3 as described in the Masterplan Design Statement



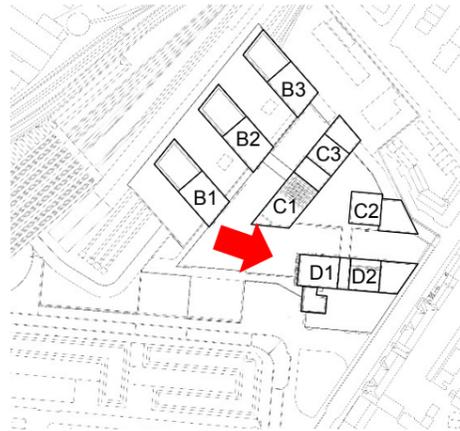
Note: The green wall treatment to the south façade of Block D1 is in anticipation of the delivery of the Block D3 Hotel (separate planning submission)

Architectural Approach

Block D – Façade Detail

A Sense of Place – View from Connolly Square

- Block D1 offers a duality of façade approach with the white horizontality of the façade facing onto Connolly Square returning onto a red brick 'warehouse' style architecture facing onto the new internal street. This duality of façade and architectural approach offers a richness and variety to the new urban setting. Architectural views are constantly changing as you move through the open spaces with varying facades and colours juxtaposing against each other.
- The southern face of Block D1 is dressed with a 'temporary' green wall treatment. This anticipates the future construction of the Block D3 hotel.



Key Plan



FOR INFORMATION ONLY
Future inclusion of Block E as described in the Masterplan Design Statement

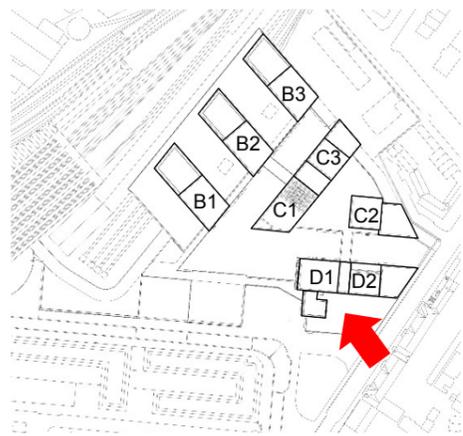


Architectural Approach

Block D – Façade Detail

Block D – The Highline Gardens

- The blocks are set back from the Oriol St boundary in order to respect existing building heights along the street. The cascading sequence of volumes and façade treatments creates a visually stimulating building which is located at a key site entrance point. The sequence of vivid brick colours creates a visual richness and variety and responds to the human/residential scale of the scheme.
- The first floor Highline level extends onto south facing private residential gardens which overlook Oriol St and create residential relationship with the street.
- The southern façade of Block D1 has a green wall treatment and rises up from the landscaped residential garden space at Highline level. This façade treatment is intended as 'temporary' and shall be removed in the event of Block D3 (Hotel) being constructed.



Key Plan



Design Inspiration



Architectural Approach

Block D – Façade Variety & Articulation

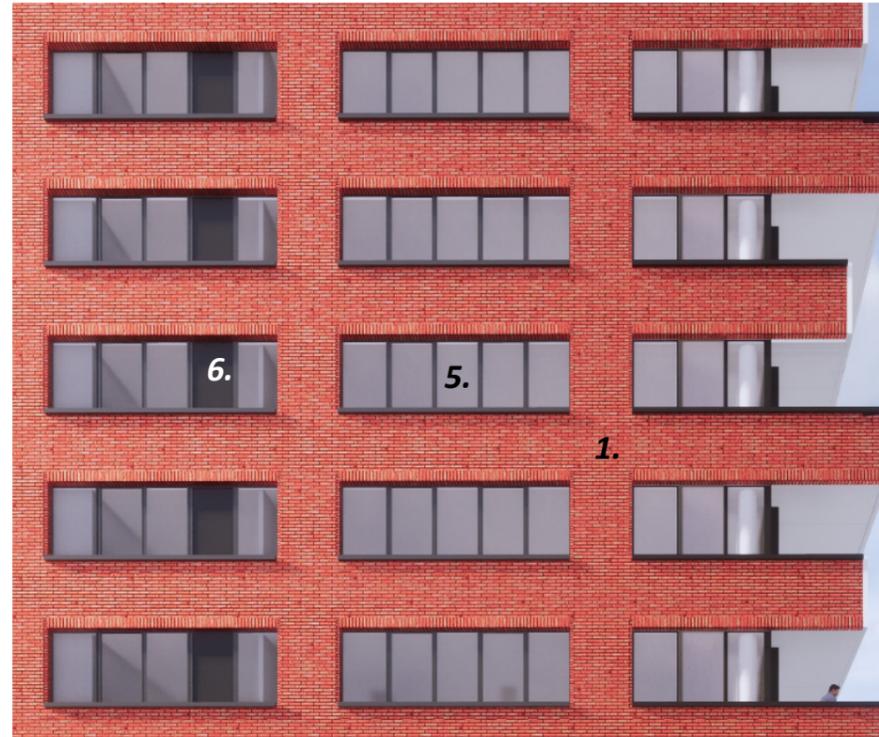
Block D1 Façade Detail



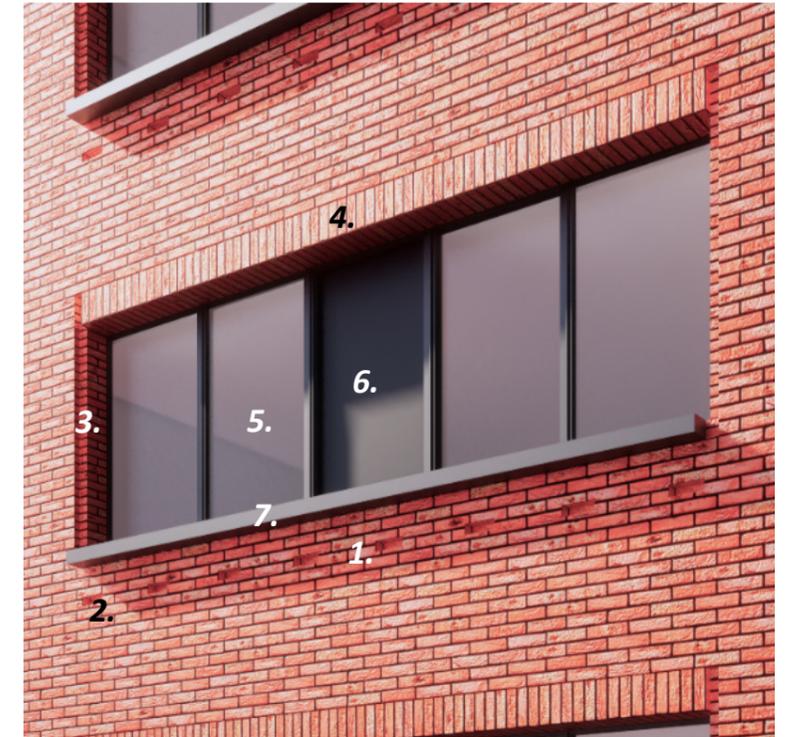
02 - RESIDENTIAL

HIGHLINE

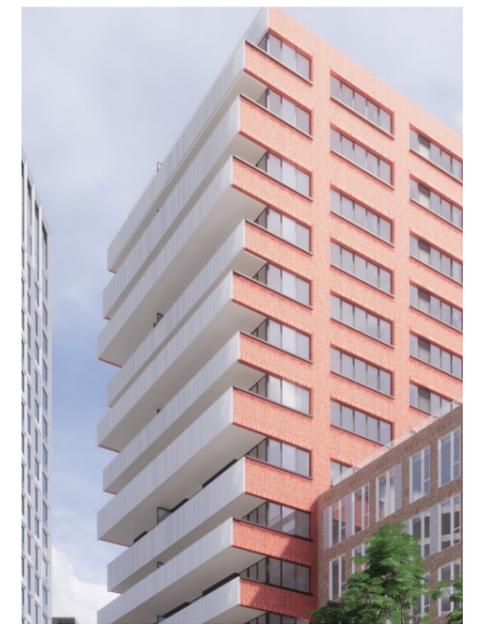
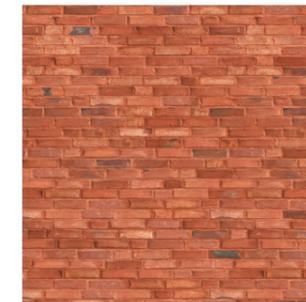
STREET LEVEL



TYPICAL WINDOW BAY DETAIL



TYPICAL WINDOW DETAIL

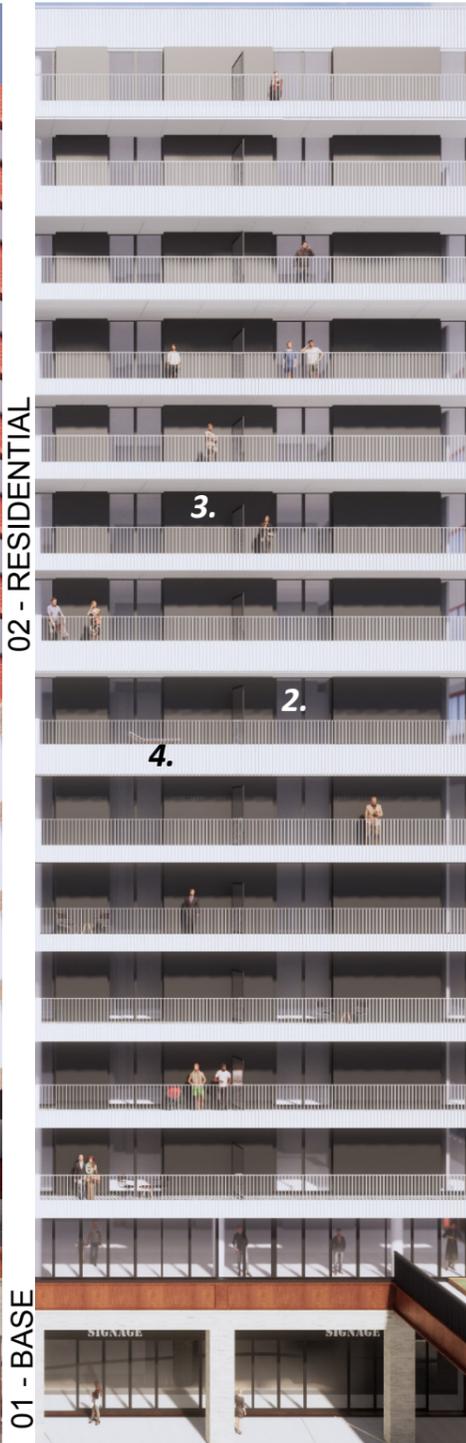


- 1 – Brickwork (colour red)
- 2 – Recessed brickwork (colour red)
- 3 – Brick reveal detail (colour red)
- 5 – PC aluminium window (colour dark grey)
- 7 – PC aluminium spandrel panel.
- 8 – PC aluminium cill section (colour dark grey)

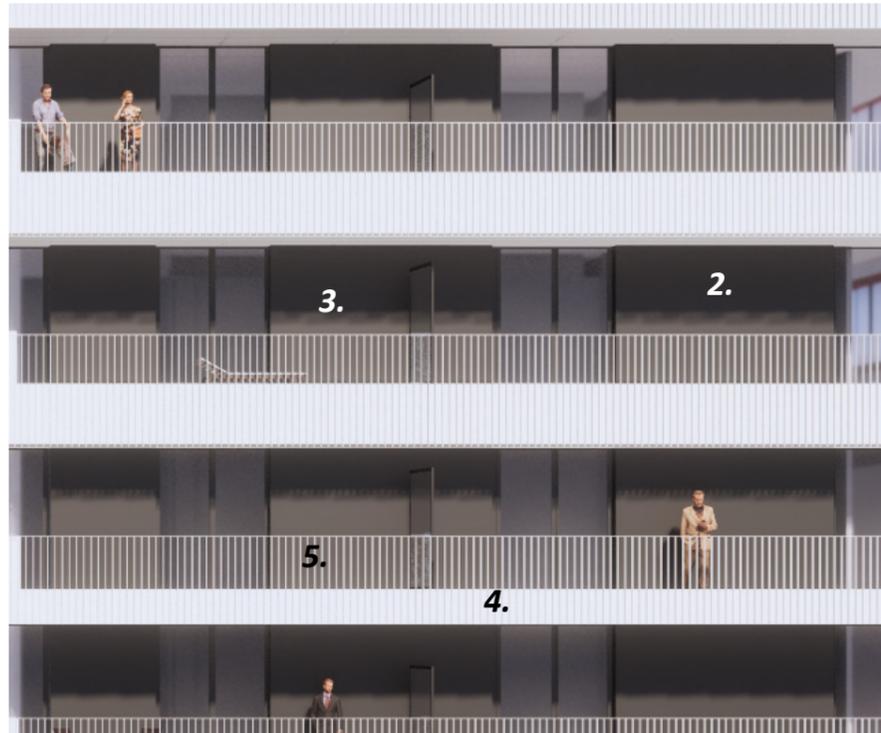
Architectural Approach

Block D – Façade Variety & Articulation

Block D1 Façade Detail



SQUARE LEVEL



TYPICAL BALCONY BAY DETAIL



TYPICAL BALCONY DETAIL



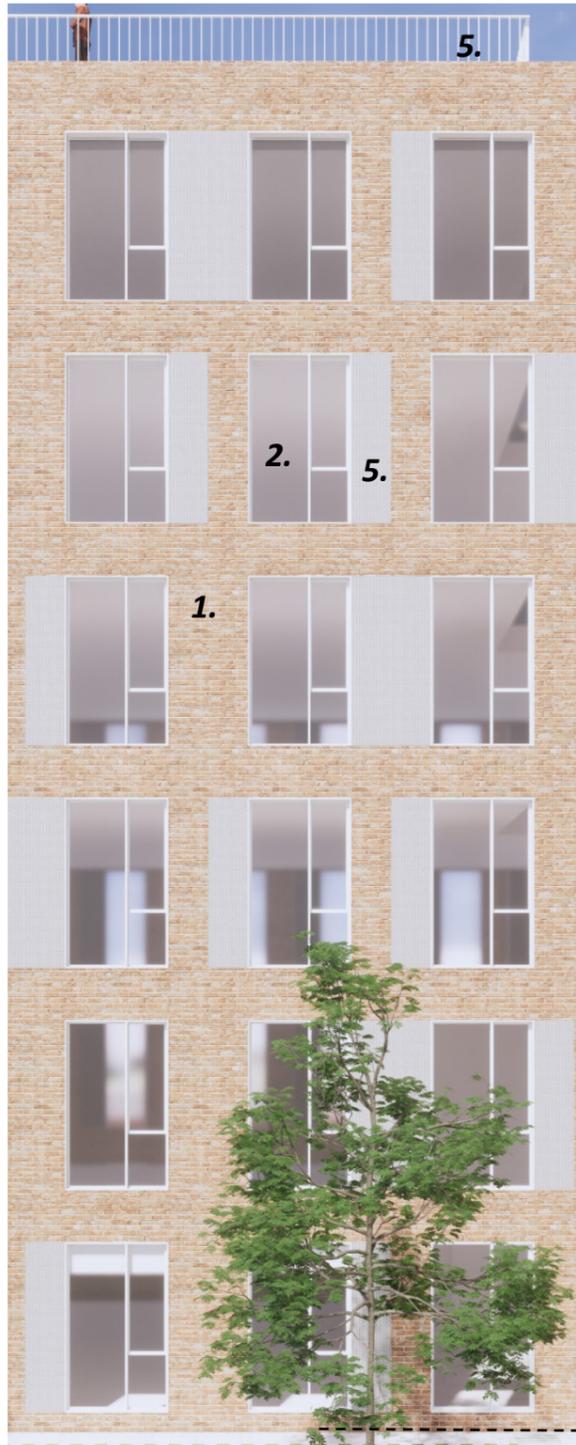
- 1 – Metal cill (colour dark grey)
- 2 – PC aluminium window (dark grey frame)
- 3 – Metal spandrel panel (colour grey)
- 4 – Metal facia panel (colour white)
- 5 – Metal balcony railing (colour white)



Architectural Approach

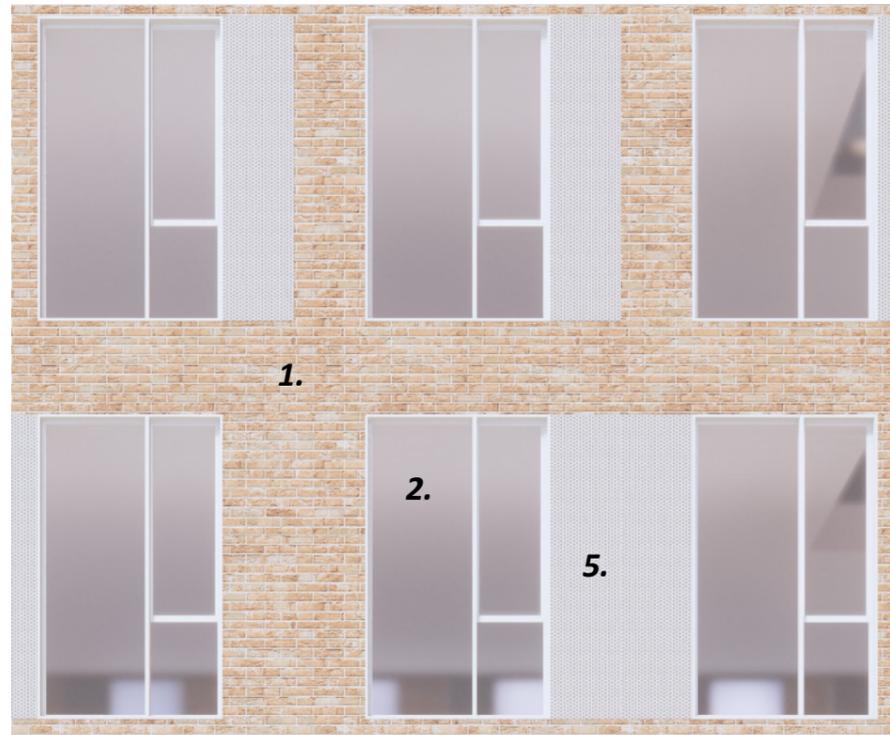
Block D – Façade Variety & Articulation

Block D1 Façade Detail

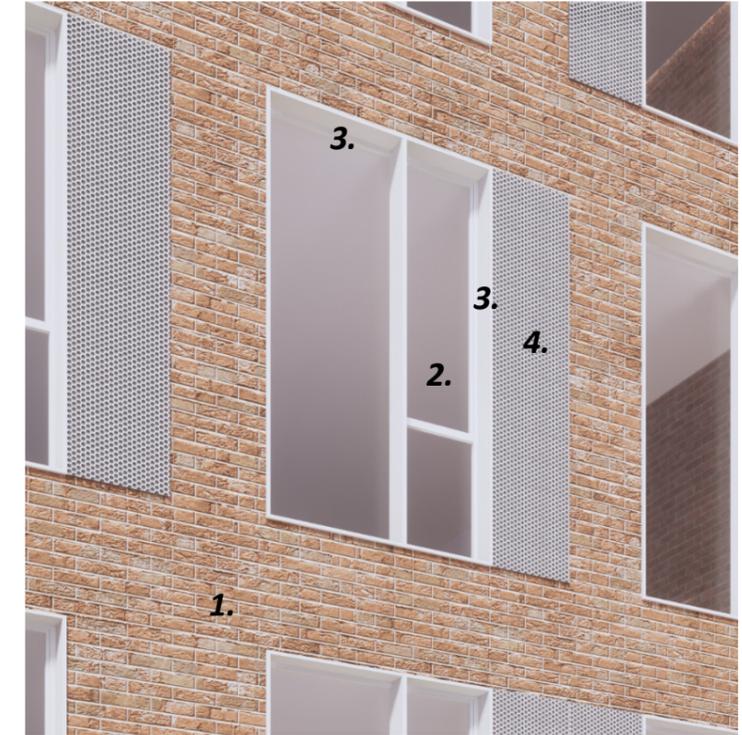


02 - RESIDENTIAL

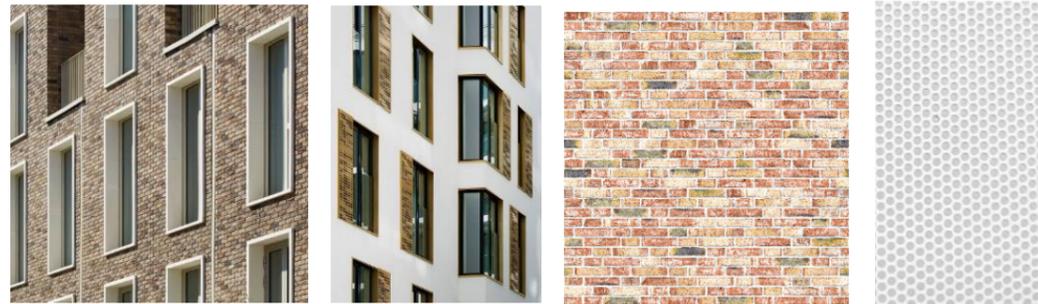
HIGHLINE LEVEL



TYPICAL WINDOW BAY DETAIL



TYPICAL WINDOW DETAIL



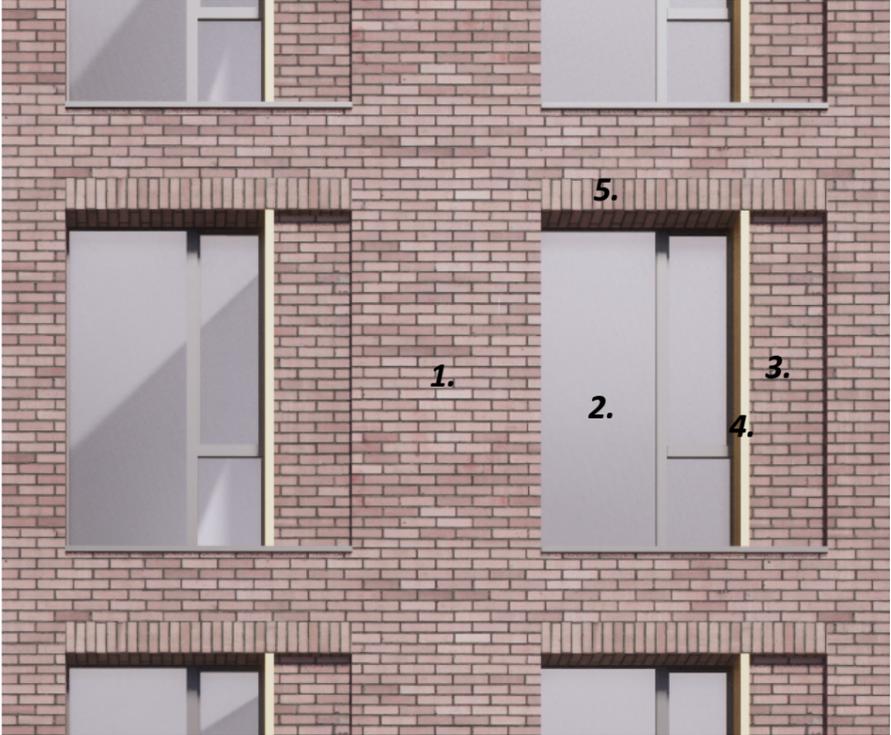
- 1 – Brickwork (light red colour)
- 2 – PC aluminium window (colour white)
- 3 – Metal reveal (colour white)
- 4 – Perforated PC aluminium spandrel panel (colour white)
- 4 – Metal terrace railings (colour white)



Architectural Approach

Block D – Façade Variety & Articulation

Block D2 Façade Detail



TYPICAL WINDOW BAY DETAIL



TYPICAL WINDOW DETAIL

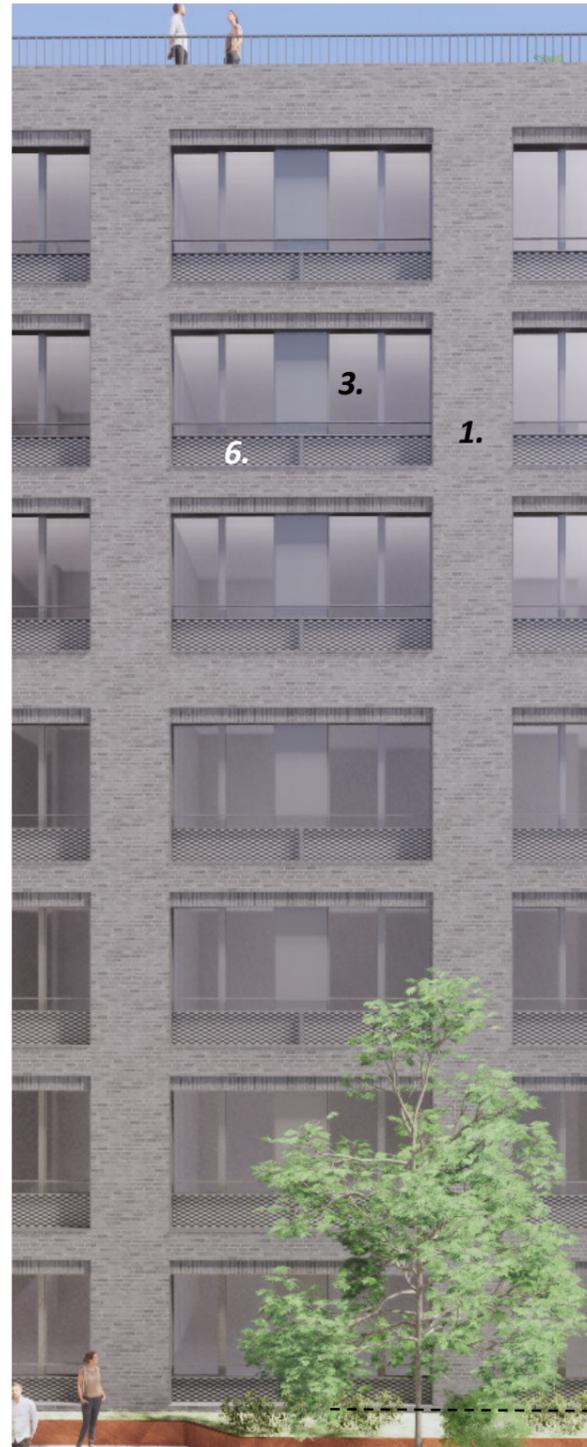


- 1 – Brickwork (colour brown)
- 2 – PC aluminium window (colour grey)
- 3 – Integrated glass balustrade
- 4 – PC metal reveal section (colour dark grey)
- 5 – PC metal fin section (colour gold)
- 6 – Metal Highline Beam (corten steel colour)
- 7 – Existing stone faced wall (protected structure)
- 8 – Metal terrace railings (colour black)
- 9 – Existing stone wall (protected)



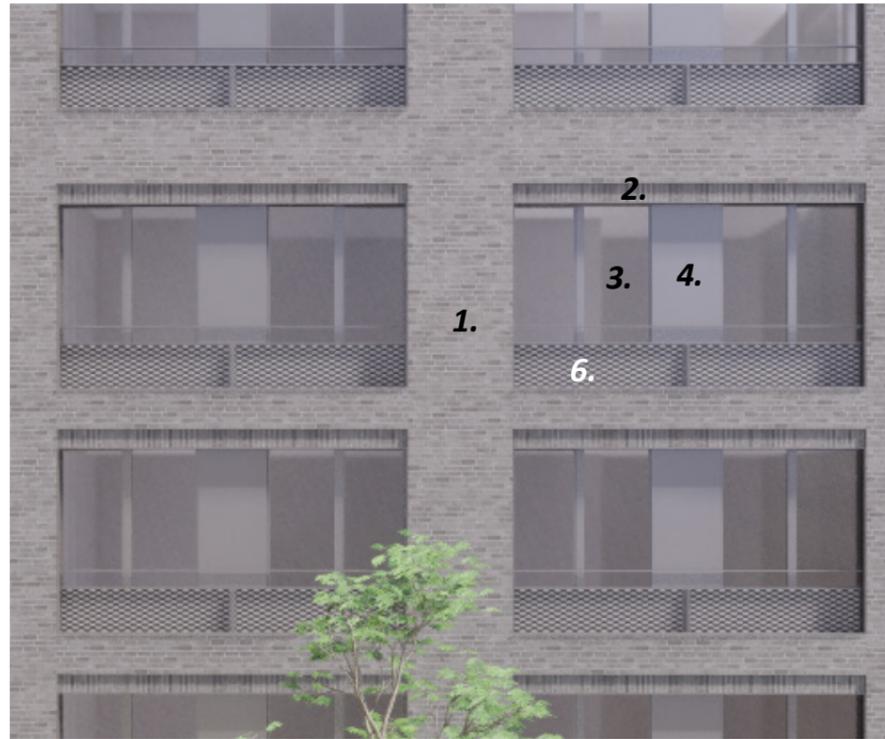
Architectural Approach

Block D – Façade Variety & Articulation
Block D2 Façade Detail



02 - RESIDENTIAL

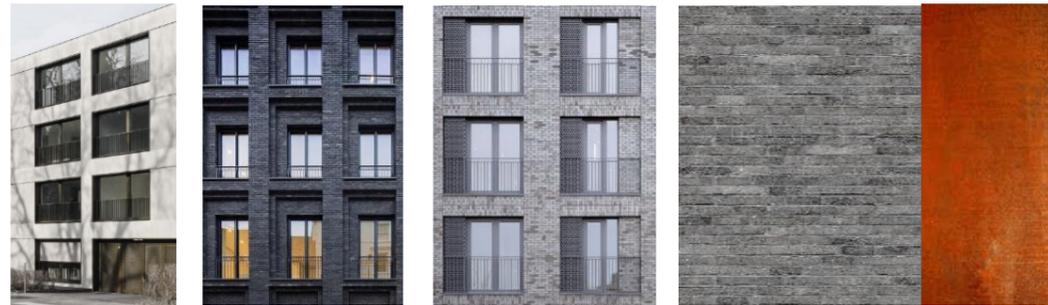
HIGHLINE LEVEL



TYPICAL WINDOW BAY DETAIL



TYPICAL WINDOW DETAIL



- 1 – Brickwork (colour grey)
- 2 – Recessed brick soldier course (colour grey)
- 3 – PC aluminium window frame (colour grey)
- 4 – Metal spandrel panel (colour grey)
- 6 – Metal panel reveal (colour dark grey)
- 5 – Metal terrace railings (dark grey)



Architectural Approach

Base Detail – Block B
View towards the Block B1 Entrance



BLOCK B - GROUND FLOOR DETAIL ELEVATION



BLOCK B - STREET LEVEL VIEW



- 1 – Metal 'Highline Beam' (continuous feature at Highline level)
- 2 – Brick recess/shadow gap
- 3 – Brickwork (grey colour)
- 4 – Brick reveal detail (colour grey)
- 5 – Metal reveal detail.
- 6 – Powder coated metal window frame (fixed pane/colour anthracite)
- 7 – Powder coated metal door (colour anthracite)
- 8 – Horizontal powder coated panel (signage zone)
- 9 – Perforated feature metal cladding panel + signage
- 10 – Powder coated metal frame canopy (colour dark grey)
- 11 – Retractable awning over the commercial facade
- 12 – Wall mounted street lighting (colour dark grey)

Whilst the residential blocks above create a vivid and playful interface of forms and façade materiality, the building base offers a legible and coherent solid form with the modern archways creating a shopfront and residential rhythm. The 'solid' materiality supports the industrial reference of the Highline above.

Architectural Approach

Base Detail – Block C
View towards the Block C1 Entrance



BLOCK C - GROUND FLOOR DETAIL ELEVATION



BLOCK C - STREET LEVEL VIEW



- 1 – White aluminium cladding (angled towards the line of the glazing)
- 2 – Double height entrance glazing + revolving entrance doors (dark grey frame)
- 3 – Horizontal Highline beam (internal) – colour 'cortane'
- 4 – Brickwork to building base (colour grey)
- 5 – PC Aluminium shopfront glazing (colour dark grey)

The double height entrance glazing reveals the generous entrance and concierge space within and attracts residential visitors into that space and onward towards the Highline. The industrial Highline beam connects seamlessly from above the 'solid' brick base to the inside face of the double height glazing to create a unified and dramatic entrance experience.. The modular white metal cladding panels from the upper floors extrude to form a modern colonnade around the base of C1 (fully revealing the entrance experience within)

Architectural Approach

Base Detail – Block D
View towards the Block D1 Entrance



BLOCK D1 - GROUND FLOOR DETAIL ELEVATION



BLOCK D1 - ENTRANCE VIEW



- 1 – Metal 'Highline Beam' (continuous feature at Highline level)
- 2 – Brick recess/shadow gap
- 3 – Brickwork (grey colour)
- 4 – Brick reveal detail (colour grey)
- 5 – Metal reveal detail.
- 6 – Powder coated metal window frame (fixed pane/colour anthracite)
- 7 – Powder coated metal door (colour anthracite)
- 8 – Powder coated metal panel (colour dark grey)
- 9 – Horizontal powder coated panel (signage zone)
- 10 – Powder coated metal frame canopy (colour dark grey)
- 11 – Retractable awning over the commercial facade
- 12 – Wall mounted street lighting (colour dark grey)

Whilst the residential blocks above create a vivid and playful interface of forms and façade materiality, the building base offers a legible and coherent solid form with the modern archways creating a shopfront and residential rhythm. The 'solid' materiality supports the industrial reference of the Highline above.

08 Car Parking Strategy

Car Parking & Vehicle Access Strategy

Car Parking Rationale

Refer to separate report by OCSC Engineers

Car Parking Rationale

The proposed SHD application provides for the rationalisation of the existing car parking arrangement of the subject site. Currently there are 390 car parking spaces operated by CIE. The development of this site is subject to an agreement that 180 of these spaces (a reduction of 210 spaces) must be maintained exclusively for the use of CIE. This requirement is in addition to certain access arrangements being maintained to meet CIE's operational needs. The proposal complies with this obligation and, in addition, it is proposed to provide spaces for the exclusive use of future residents of the SHD development.

Quantum of Residential Parking

The SHD application provides 52 residential parking spaces for 741 apartments. The spaces will be provided in the basement. This quantum represents a provision rate of 7.8% of 1 space per 12.8 apartments. The most recent CSO Census data identifies local rates of non-car ownership of 63% and, in the course of pre-planning discussions with both the National Transport Authority (NTA) and Dublin City Council (DCC), the applicants were advised that the site could be considered as an appropriate candidate for zero parking provision.

EXISTING	
LEVEL	SPACES
Basement level	-
Ground level	390 spaces (CIE spaces)
Total	390 spaces (CIE spaces)

PROPOSED (SHD SUBMISSION)	
LEVEL	SPACES
Basement level	58 spaces (inc. 6 No. CIE spaces)
Block B Podium Level	135 spaces
Total	193 spaces

Note: 390 – 193 = 197

197 existing car parking spaces are being removed in order to deliver a new mixed use urban quarter



Section Diagram

Car Parking & Vehicle Access Strategy

Ground Floor Vehicle Access

Refer to separate report by OCSC

The Connolly masterplan is proposed as a pedestrian priority scheme and as such, the plan is designed to public vehicle access within all of the proposed streets and squares. The vehicle access and car parking strategy is described by the adjacent site concept diagram.

-  Primary pedestrian access
-  Vehicle access (car parking, service and fire tender access to Connolly Station)
-  Service Yard (accessed from Oriel St Upper)
-  Service Yard access
-  Basement access (car parking & waste).
-  Connolly Station & Podium Car Park deck access
-  Public Realm (Connolly Streetscape)
-  Shared surface (pedestrian & vehicle overlap)



Vehicle access from Oriel Street



Car Parking & Vehicle Access Strategy

Highline Level Vehicle Access

Refer to separate report by OCSC

Connolly Station Access

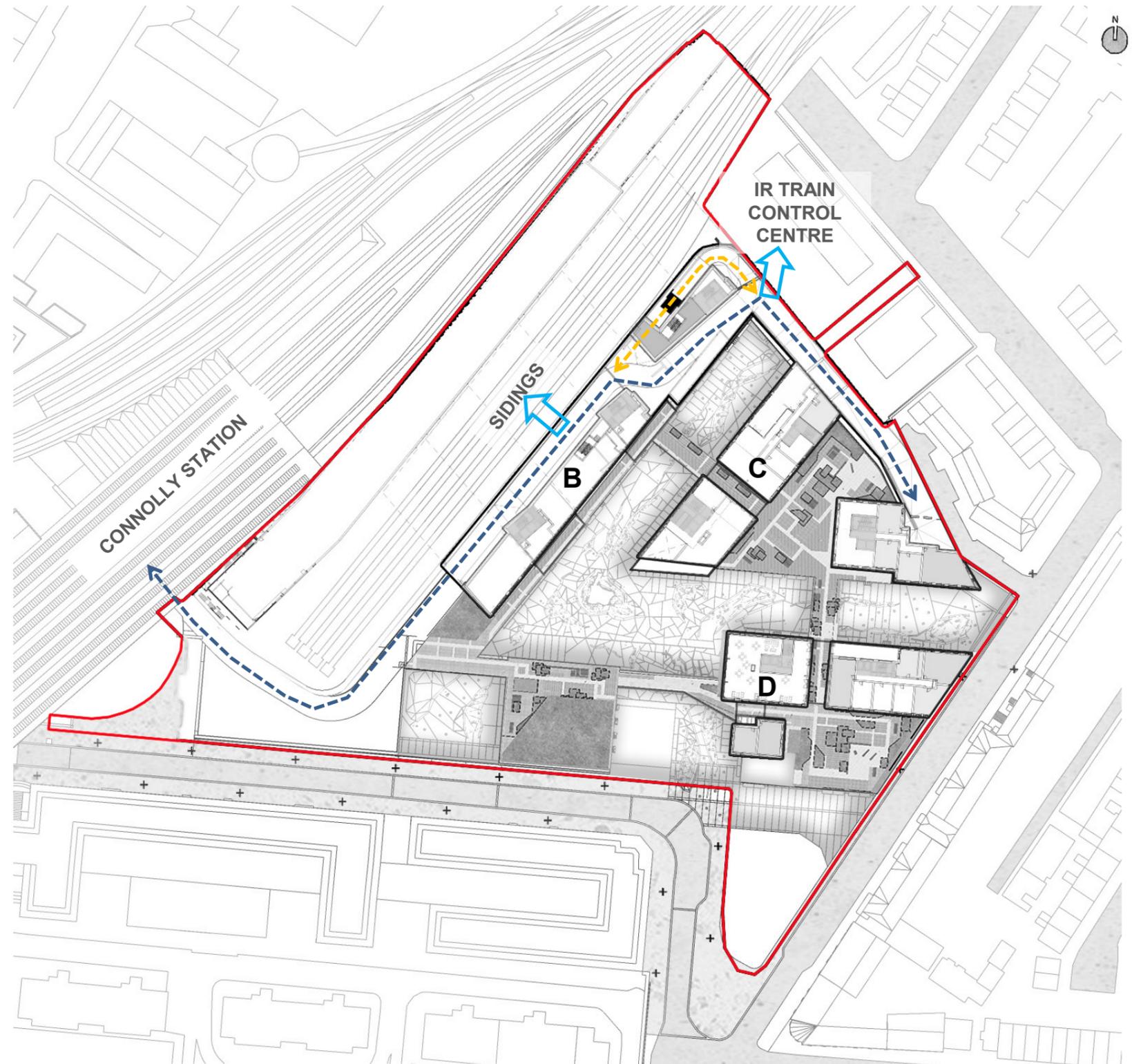
- There is a contractual agreement to maintain existing fire tender and service access to the rear of Connolly Station (Platform 3)

Podium Car Parking Deck

- Car parking is accommodated within the depth of the structural truss which support Block B above and oversails the existing Irish Rail sidings.
- Ramped access to this elevated car parking level is provided between the existing sidings and the rear of the Block B accommodation.

The vehicle access and car parking strategy is described by the adjacent site concept diagram.

-  Irish Rail access (maintained)
-  CIE podium car park access (ramped)
-  Connolly Station access



Highline Level Plan

Car Parking & Vehicle Access Strategy

Basement Floor Plan

Basement Access

(Refer to separate report by OCSC)

- All vehicles gain access to the basement level via the controlled vehicle access from Oriel St. Access is via a dedicated vehicle ramp.

Car Parking

(Refer to separate report by OCSC)

- In order to minimise the impact on the surrounding area and to support the principle of a *car free development*, the quantum of residential car parking has been reduced as part of the SHD submission. The design is sensitive to the fact that the development is in close proximity to local train, Dart, Luas and bus stops.
- All car parking within the basement is serving the residential use (refer to separate car parking schedule)
- All residential parking spaces will be Car Share spaces and will be managed by the Connolly Estate Management Company. No spaces will be assigned to individual tenants or individual apartments. Access to Car Share will be made available to Connolly residents only on a Resident Smart Card basis. A contract will be entered into between the Connolly Estate Management Company and a Car Share Provider for the provision of vehicles.
- All residential parking spaces will be provided on a Car Share basis. No provision is being made for visitor parking which can be accommodated on local roads and car parks.

Waste Storage - Blocks B1,B2,B3,C1,C3

- It is proposed that all residential waste from the above blocks is brought to basement level via the individual residential cores. Waste shall be stored in dedicated waster rooms which are located adjacent to the cores. Waste collection shall then be managed by the scheme operator to minimise impact on residents and the local neighbourhood.

Plant & Services

(Refer to separate report by Homan O'Brien)

- The majority of residential plant and services is located at basement level (to avoid a negative impact on active frontage and residential amenity above ground)

-  Car Parking Spaces
-  Accessible Car Park Spaces
-  Bicycle Storage
-  Plant & Services



Basement Access Plan

Car Parking & Vehicle Access Strategy

Block B - Podium Car Park Deck

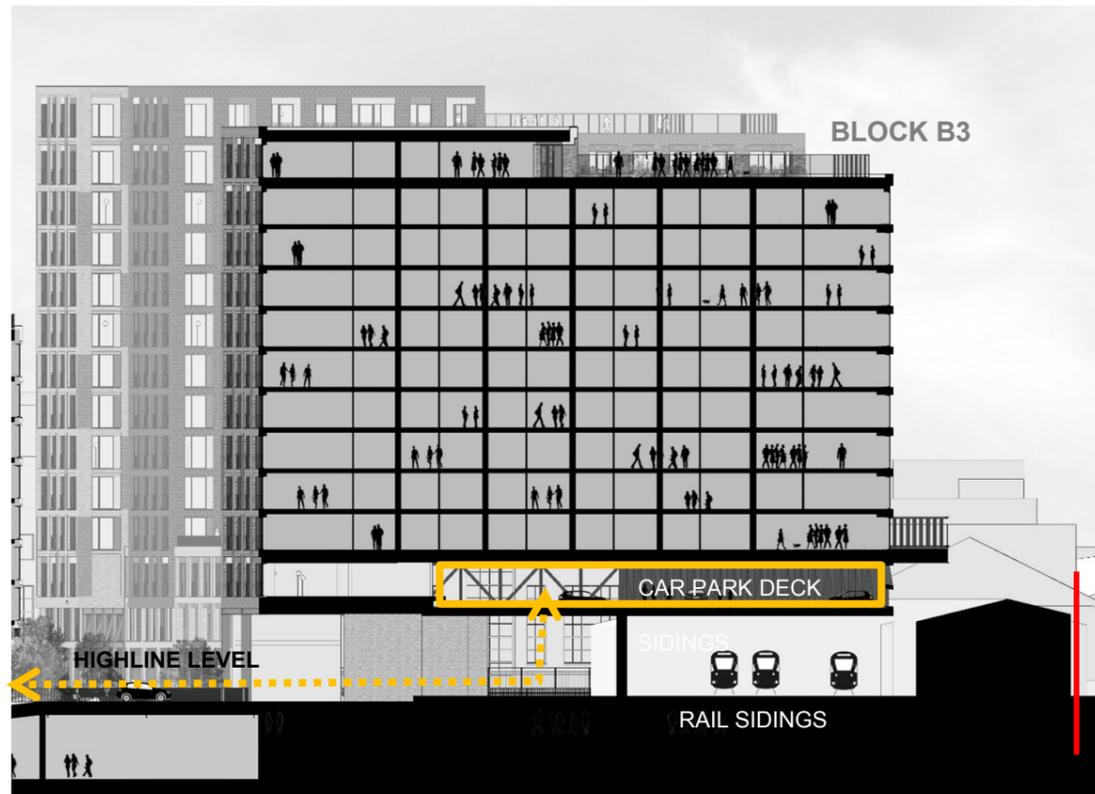
Car Parking Rationale (Refer to separate SHD Compliance Legal Opinion)

- Connolly Quarter is designed to be a pedestrian priority scheme. Residential car parking is non priority given the proximity to Connolly Rail Station and other public transport connections.
- There are currently 390 existing car parking spaces on site which exist to support the Connolly Station rail operations. There is a legal requirement to retain/relocate 180 CIE spaces within the overall masterplan in order to support the Connolly Station operations.
- As part of the SHD submission, it is proposed to locate 135 CIE spaces within the Block B podium deck and for the remainder of the 180 spaces to be delivered elsewhere within the masterplan (non SHD submission)

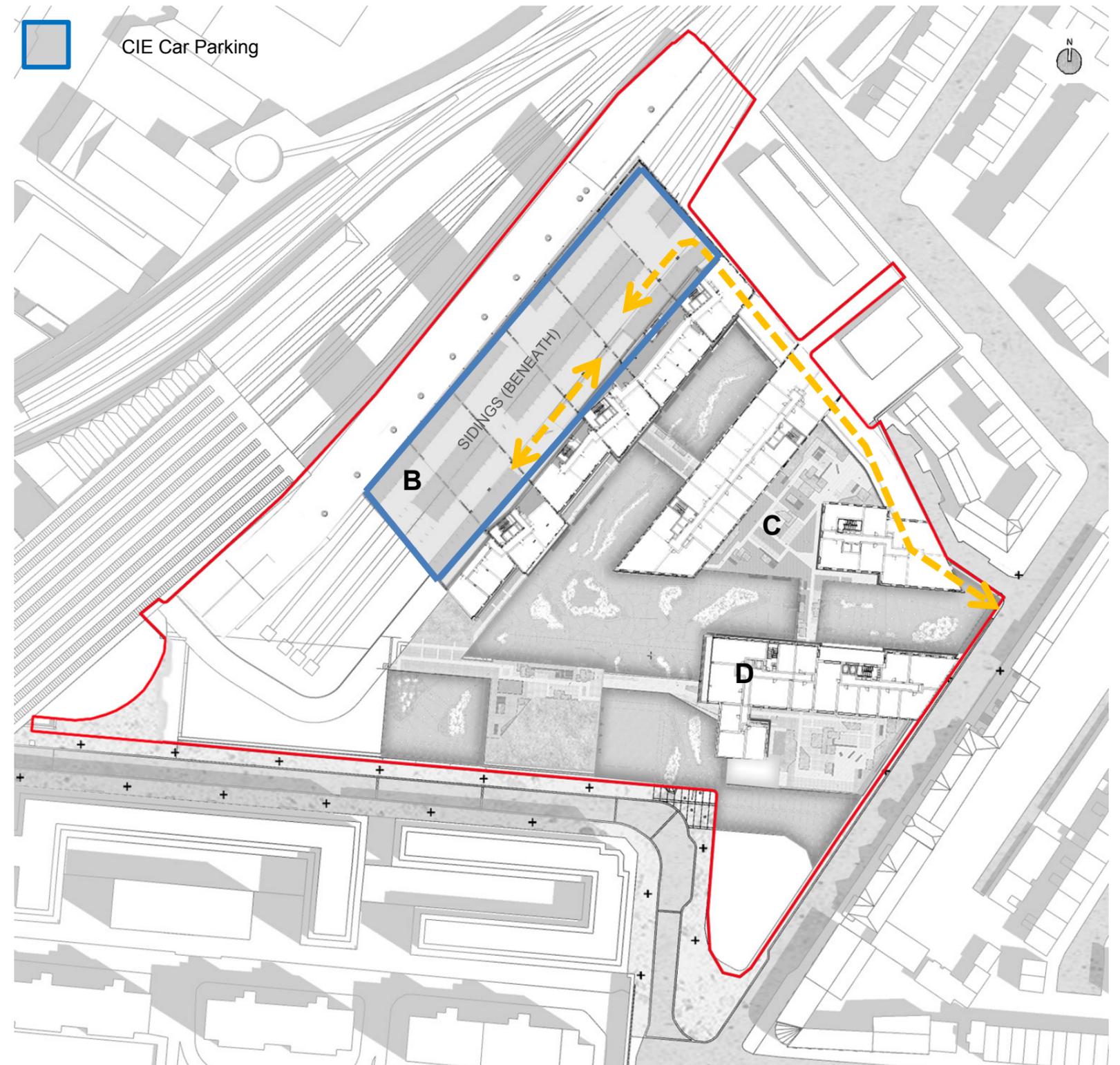
Podium Car Park Design

- Car parking is accommodated within the depth of the structural truss which supports Block B above and oversails the existing Irish Rail sidings.
- Ramped access to this elevated car parking level is provided between the existing sidings and the rear of the Block B accommodation.

Note: Refer to separate car parking schedule for confirmation of overall parking totals.



Block B Section Diagram



Appendix A

Compliance with Universal Design Principles

Compliance with Universal Design Principles

RKD Letter of Confirmation

Architecture /
Interiors

59 Northumberland Rd
Ballsbridge, Dublin 4
D04 WP89, Ireland

+353 1 668 1055
mail@rkd.ie
rkd.ie

RKD

W:\Projects\2018\18135 - Ballymore, Connolly Station\09_LocalAuthority\Letters\ABP\001-09-19-mb.docx
MB/DP

20th September 2019

An Bord Pleanála,
68, Marlborough Street,
Dublin 1.

**RE: The Connolly Quarter Strategic Housing Development Planning Application
Statement of Compliance with the Principles of Universal Design**

Dear Sir / Madam,

We hereby confirm that the scheme as described in the submitted planning application documentation has been designed in compliance with the principals of Universal Design.

A Disability Access Certificate will be applied for following the conclusion of the planning application process, the contents of which will fully demonstrate compliance.

Yours sincerely,



David Petherbridge
RKD

Directors: David Petherbridge, Justin Treacy, Ronan Smith, Geert Douterlungne, David Browne, Patrick Carney, John Hanley, Derek Heavey, Paul Davey, Denis Brereton, Gopal Naidoo, Amy Gargan, Ger Dunne.
Associates: Vicky Landy, Conor Murphy, Donal Murphy, Jim Sullivan, Sean Hogan, Tony Fennessy, Kevin Maguire, Cathal McGeown, Barry McNamara, Szymon Krawczewski, Niamh Burke, Brian Cooke, Nuala Farrell, Paul Foley, Eugene McMahon, Carol Spollen, Jonathan Walsh, Jim Byrne, Danielle Broe Fox, Eimear Slattery, Iain Pilkington, James Hirstle.
RKD Architects Limited. Registered in Ireland. Reg. No. 279121

Appendix B

Schedules

Refer to A2000 Drawing Series for detailed area schedules

Overview Unit Mix

The Connolly Quarter_Overall Unit Schedule													
02/10/2019													
		BLOCK B				BLOCK C				BLOCK D			
BLOCK		1B1P	1B2P	2B4P	3B5P	1B1P	1B2P	2B4P	3B5P	1B1P	1B2P	2B4P	3B6P
L 0													
L +1 (HL)						2	4		1	3	2	3	1
L +2		2	2	1		8	8	4	1	3	2	5	
L +3		6	7	1	1	10	8	6	1	4	5	6	
L +4		6	15	10		10	8	6	1	4	5	6	
L +5		6	12	13		10	7	5		3	3	5	
L +6		6	12	13		10	7	5		3	3	5	
L +7		6	12	13		10	7	5		2	1	5	
L +8		6	12	13		10	7	5		1	2	3	
L+9		6	12	13		8	5	5		1	2	3	
L+10		6	12	13		7	6	3		1	2	3	
L+11		6	12	13		4	2	2		1	2	3	
L+12		6	12	13		4	2	2		1	2	3	
L+13		4	10	11		4	2	2		1	1	2	
L+14		1	2	2		4	2	2			1	3	
L+15						4	2	2					
L+16						4	2	2					
L+17						4	2	2					
L+18						4	2	2					
L+19						4	2	2					
L+20						4	2	2					
L+21						4	2	2					
L+22						4	2	1					
TOTAL		67	132	129	1	133	91	67	4	28	33	55	1
		329				295				117			
TOTAL		741											
Percentage	Achieved	20.4%	40.1%	39.2%	0.3%	45.1%	30.8%	22.7%	1.4%	23.9%	28.2%	47.0%	0.9%
	%	60.5%		39.5%		75.9%		24.1%		52.1%		47.9%	

Overview Area Schedule

The Connolly Quarter_Overall Schedule of Areas

02/10/2019

Level		Block B					Block C				Block D			
		Total GIA	Resi NIA	Amenity NIA	Retail NIA	Community NIA	Total GIA	Resi NIA	Amenity NIA	Retail NIA	Resi GIA	Resi NIA	Retail NIA	Amenity NIA
Podium	Level 22						530	400						
	Level 21						530	400						
	Level 20						570	440						
	Level 19						570	440						
	Level 18						570	440						
	Level 17						570	440						
	Level 16						570	440						
	Level 15						570	440						
	Level 14	856	303	357			570	440			390	308		
	Level 13	2118	1573				570	440			390	265		30
	Level 12	2553	1918				570	440			501	388		
	Level 11	2553	1918				570	440			500	388		
	Level 10	2553	1918				1206	884			500	388		
	Level 09	2553	1918				1373	1041			500	388		
	Level 08	2553	1918				1600	1217			500	388		
	Level 07	2553	1918				1600	1217			741	540		
	Level 06	2553	1918				1600	1217			903	678		
Level 05	2553	1918				1600	1217			903	678			
Level 04	2554	1903				1900	1476			1179	911			
Highline	Level 03	1599	856				1900	1476			1179	911		
	Level 02	735	292	75			1627	1242			1004	766		
	Level 01	913		440			1402	403	647		1005	498		326
Ground	Level 00	2659				955	551			256		1380		
Total GIA (/Use)		31857					24369				12309			
Total NIA (/Use)			20268	872	955	551		16586	647	256		7496	1380	356
Total GIA (/Block)		31857					24369				12309			
Total NIA (/Block)		22645					17489				9231			
Total GIA		68535												